

# PROJECT REVIEW GUIDELINES

Armory Park Historic Zone Advisory Board

[Final approval date]



(KT)

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***Note: This document contains many terms that may not be familiar to you. If you need to become more familiar with key terms, please see the alphabetized TERMS OF REFERENCE near the end of this document.***

**Commented [TM1]:** Trim this section and call it Glossary. What in the heck are “terms of reference” in a document like this? An acronym list might be even more useful than the terms of reference section.

**Commented [EHB-(2R1)]:** I agree with the glossary plan – two sections: Glossary and Common Abbreviations.

## INTRODUCTION

The Armory Park neighborhood is located just south of the central business district of Tucson area and has historical roots dating back to the 1880s with the arrival of the railroad. The neighborhood encompasses approximately a 30-block area bounded by S Stone Avenue on the west, S Third and S Jacobus Avenues on the east, E Twelfth Street on the north, and E Nineteenth Street on the south. In 1974, Armory Park became the first of five designated Historic Preservation Zones (HPZ) in Tucson. These HPZs require compliance with specific City-wide development standards and unique design guidelines for each HPZ for exterior alterations to existing historic and non-historic buildings and for new construction, including work that does not require a building permit. In addition to being a City HPZ, the neighborhood was designated as a National Register Historic District in 1976.

These revised design guidelines complement the general and enforceable development code standards while providing special guidance for their applicability in Armory Park. These guidelines:

- Include the relevant Secretary of Interior's Standards (SOIS) and how they apply.
- Improve the Armory Park historic design review process by making clear both the requirements and the process.
- Provide guidance on how and when new materials can be used in the HPZ.
- Integrate new zoning and development options that may now apply.
- Build upon new SOIS for historic landscape and streetscape, which follow a streetscape documentation process that may be the first of its kind in the nation.

## OVERARCHING HISTORIC PRESERVATION STANDARDS

The Secretary of Interior (SOI) is responsible for establishing standards and providing guidance for the preservation of the historic properties in of the nation. These federal standards are neither technical nor prescriptive but are general and intended to promote responsible preservation practices that to help protect our irreplaceable cultural resources. Two treatments—preservation and rehabilitation (Table 1)—are most relevant common and provide a foundation to for our guidelines for the preservation of contributing properties as well as along with new construction in the Armory Park HPZ. The standards for each are found in Table 2.

Table 1. SOI Definitions of Preservation and Rehabilitation<sup>1</sup>

Preservation	Rehabilitation
Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. However, new exterior additions are not within the scope of this treatment. The Standards for Preservation require retention of the greatest amount of historic fabric along with the building's historic form.	Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. The Rehabilitation Standards acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character.

<sup>1</sup> Grimmer, Anne E., 2017, The Secretary of the Interior's Standards for the Treatment of Historic Properties, with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, pp. 2, 28, and 76. U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C. <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

**Commented [TM3]:** Jodie, what is official street name for Twelfth and Nineteenth? Is it spelled out as they have it or ordinal (12<sup>th</sup> and 19<sup>th</sup>)?

**Commented [JB4R3]:** I believe that it is ordinal.

**Commented [TM5]:** Should this be contributing and noncontributing instead of historic and non-historic? Noncontributing should not be hyphenated as non-contributing. See graphics elsewhere that do have it as one word.

**Commented [JTS6]:** I think this one sentence is trying to do too much. There are at least three ideas here that each need their own sentence: [1] each HPZ has it's own development standards (along with standards that apply to all HPZs, [2] standards apply to modifications to existing things (buildings, fences, roofs... along with newly proposed things, and [3] the standards need to be followed, and there needs to be a historic review, in some instances even ...

**Commented [TM7]:** The intro to this section could be helped with a sentence explaining what is subject to review ...

**Commented [TM8]:** Jodie, Correct me if I'm wrong, but isn't the purview of the APHZAB to deal strictly with cases ...

**Commented [JB9R8]:** There are certain instances where their review is required such as an IID project in the Nation ...

**Commented [EHB-(10):** "design guidelines complement" is the key here. However, I think the following bullets are ...

**Commented [JTS11]:** "development code standards" seems awkward. Also I'm not sure "complement" is the ...

**Commented [JTS12]:** This is where I start to worry. By including parts of the SOI it bloats this document and by ...

**Commented [JTS13]:** Re-stating or duplicating things that are already stated in the UDC also leads to a bloated ...

**Commented [JTS14]:** Not sure what this is referring to, but I worry that "new zoning ... options" is going to mean ...

**Commented [JTS15]:** Same concern as above with "new" ... how frequently will this be updated?

**Commented [EHB-(16):** (2017) - Grimmer, A. E. (2017). *The Secretary of the Interior's standards for t* ...

**Commented [TM17]:** Not sure what they are getting at with "a streetscape documentation process that may be t

**Commented [TM18]:** These are the basis for how things are reviewed per the UDC but not the primary basis for ...

**Commented [JTS19]:** This seems out of place for a HPZ guideline. This is the subject of many books and universit

**Commented [TM20]:** Previous wording could be confusing, as someone might think that they are only talki

**Commented [TM21]:** "em" dash is what's appropriate here.

**Commented [TM22]:** They shouldn't conflate the HPZ and the NR district.

**Commented [TM23]:** Table captions go above the table; figure captions go below the figure; all tables and figures ...

Table 2. SOI Standards for Preservation and Rehabilitation<sup>2</sup>

Standards for Preservation	Standards for Rehabilitation
1) A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.	1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2) The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property shall be avoided.	2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3) Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.	3) Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4) Changes that have acquired historic significance in their own right will be retained and preserved.	4) Changes to a property that have acquired historic significance in their own right will be retained and preserved. .at have acquired historic significance in their own right shall be retained and preserved.
5) Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.	5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.
6) The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.	6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
	9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
	10) New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

<sup>2</sup> Grimmer 2017, The Secretary of the Interior's Standards for the Treatment of Historic Properties, with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, pp. 28 and 76. U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C.  
<https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

The SOIS are used to inform [the Board](#) and complement the City of Tucson Codes, the Unified Development Code (UDC), and Technical Standards Manual (TSM) in all reviews of proposed projects [by the Armory Park Historic Zone Advisory Board \(APHZAB\)](#).

## CITY OF TUCSON STANDARDS

In 1972, to preserve the city's historic core, the City of Tucson adopted the Historic Preservation Zone (HPZ) Ordinance. In 1974, Armory Park, located just south of the central business district of Tucson, became the city's first HPZ and it was expanded in 1983. The focus of the HPZ is to preserve the character of existing areas of Tucson that are historically unique. In a separate but related action, the Armory Park National Register District was created in 1976 and expanded in 1996. Although the Armory Park HPZ [fits within the Armory Park National Register District](#), only the HPZ is protected by the UDC.

The UDC is the single legally enforceable ordinance (City law) and prevails over other historic preservation standards, traditional zoning, and subdivision regulations. The key local references with respect to historic preservation are:

- Article 5.8 of the UDC: This section establishes the purpose, applicability, and legal procedures for administration of the HPZ. The design standards for exterior alterations, additions, and new construction within HPZs are provided in 5.8.9.
- Section 9-02 of the TSM: This section provides general standards applicable to all HPZs. Since each HPZ within the city is distinct with its own development style, each HPZ also has its own section within the TSM. In the early 1970s, the Armory Park Historic District design standards were created by members of the [Armory Park Historic Zone Advisory Board \(APHZAB\)](#) with the assistance of historic preservation professionals in Tucson and are detailed in TSM 9-02.7.2. This document replaces and updates those specific guidelines.

## PURPOSE OF THE ARMORY PARK DESIGN GUIDELINES

The primary purpose of these guidelines is to help property owners and reviewers of historic design proposals [to determine the types of alterations, renovations, changes, and new construction that will maintain the special qualities of the historic district for the period of significance, which is 1860s to 1945.](#) A secondary purpose is to help property owners understand the design review process.

There are several points to remember when using the guidelines:

- [APHZAB applies](#) code standards to [ensure](#) that no contributing property to the HPZ will lose its historic status.
- APHZAB encourages owners and designers/builders to discuss any project informally at the concept stage. Each building and site is unique. Even buildings that look identical [may](#) have a few details or a setting that distinguishes them from others. This means that a treatment appropriate for one building may not be appropriate for another. Each design project and [the](#) related buildings and structures [must be looked at/considered](#) individually and contextually by the property owner/designer and APHZAB.
- Repair first. For any contributing historic property, repair of any feature or element must be considered before choosing to replace [it](#). Any replacement of original features must be reviewed for code compliance. If an item is beyond repair, consider solutions that are compatible with the Development Zone.
- Any new construction or alteration to any building must be "compatible with" the individual contributing historic buildings or structures on the specific parcel and any related contributing properties in the Development Zone, as defined by the code. This means that any change to a historic building or structure should not be generally visible or change its intrinsic nature or character. New construction should support the context of the historic elements within the Development Zone [but not duplicate any historic building or structure.](#)
- Over the years, some buildings have been altered, added to, or had details removed. These guidelines and APHZAB acknowledge that exact restorations are not always desirable or practical. Earlier alterations may be historic or non-historic and require review if changes are planned. Historic

**Commented [JTS24]:** Is this the APHZAB? Has that been defined yet in this document? Also, the SOIS inform more than just the APHZAB – PRS, the PDS director...

**Commented [TM25]:** Some of this is redundant. HPZ has already been defined as an acronym. Why is it defined again here? Suggest a rewrite of the para.

**Commented [JTS26]:** Agree with Terry that this is redundant already in this document, and also redundant with the UDC. Restating things three times bloats the document and creates opportunities for things to get out of sync. (If UDC is updated, then we need to update the HPZ Guidelines in multiple places... seems like a nightmare.)

**Commented [TM27]:** What will be used – initial caps on City or not (city)?

**Commented [JB28R27]:** The preference is City.

**Commented [JTS29]:** Seems like maybe this should be the first thing in the document... not after 2.5 pages of dense material.

**Commented [TM30]:** REVIEW PROBLEMS WITH STRUCTURE VS. BUILDING. Info: Here's the info on structure vs. bldg (from National register Bulletin 36, ...)

**Commented [JTS31]:** Awkward language... not sure how to fix it.

**Commented [JTS32]:** Potential confusion with the NHHP "district" ... the purpose of this document is to help within ...

**Commented [JTS33]:** I'd strike this. The POS is important, but I'd keep the purpose of the document ...

**Commented [JTS34]:** Admirable, but I think there are a few problems with including this goal in the document: (1 ...)

**Commented [JTS35]:** Should this be "these guidelines" rather than trying to describe the activities of the AB?

**Commented [EHB-(36)]:** "references"?

**Commented [JTS37]:** I don't think this is true. Maybe the guidelines are written to attempt to minimize properties ...

**Commented [JTS38]:** I think this should be "contributor" status... but even that's a slippery slope because that's a ...

**Commented [EHB-(39)]:** Doesn't this mean that a property could potentially lose its status, depending on ...

**Commented [JTS40]:** Should this be "each other"?

**Commented [TM41]:** Misusing structure here. Structure and building should not be used interchangeably, as they ...

**Commented [TM42]:** Or you could say "... to any contributing property"

**Commented [JTS43]:** Not sure why this is here... I believe that where compatibility is required in the UDC it is requir ...

**Commented [TM44]:** Even though "an historic" is used in the verbatim sections from the SOI's standards, don't use ...

**Commented [JTS45]:** Ambiguous sentence. If there's a zoning violation on the site (e.g. vinyl windows), then that ...



alterations (pre-1945) should be retained and generally not reversed. Nonhistoric elements ~~that may exist-present~~ in the Development Zone cannot be incorporated into a new design proposal.

- The historic review process and outcome inform rather than replace the building approval process. These processes are related, not exclusive. Historic approval does not amount to approval for a zoning issue or building permit nor does it guarantee that such approval will be granted.
- Design approvals and permits are valid for one year. New reviews and permits (if necessary) will be required for uncompleted work.
- APHZAB does not take financial hardship and/or the costs of a project into account when reviewing a project, but does consider zoning, context, and other code criteria.

## HISTORIC DESIGN REVIEW PARTICIPANTS

Historic design reviews involve multiple levels of guidance ~~and by~~ participants who often are required to use different standards of applicability. Ultimately, the Planning and Development Services Department (PDSD) Director considers the recommendations of all appropriate city staff and advisory boards to render a decision. During the historic design review process, an applicant will interact with the following:

- Armory Park Historic Zone Advisory Board (APHZAB): APHZAB assists the City of Tucson Mayor and Council and PDSD in their historic preservation responsibilities. APHZAB applies the UDC and TSM 9-02, including its design guidelines, in formulating its recommendations. APHZAB conducts full and minor design reviews and makes written recommendations to the PDSD Director on applications involving new construction, additions, exterior alterations, and the moving or demolition of existing buildings and structures for compliance with codes and standards
- Tucson-Pima County Historical Commission (TPCHC) Plans Review Subcommittee (PRS): PRS applies the SOI Standards for Historic Preservation in addition to the general guidance of the UDC and TSM in formulating its recommendations. PRS conducts full and minor design reviews and makes written recommendations to the PDSD director on applications involving new construction, additions, exterior alterations, and the moving or demolition of existing buildings and structures. PRS considers the recommendations of APHZAB during its review.
- Tucson Historic Preservation Officer and staff: The City of Tucson Historic Preservation Officer and staff work closely with APHZAB, PRS, and City departments to review proposed exterior alterations to historic buildings and structures.
- PDSD Staff: The PDSD staff evaluates applications for full and minor design reviews from historic preservation and zoning perspectives. The **Historic Section** is the primary contact for processing application submittals.
- PDSD Director: The PDSD director interprets the code compliance of a design proposal and considers the recommendations of all of the above before issuing a final written determination of compliance, including any required conditions for the project to proceed to the permitting stage.
- Mayor and Council: Mayor and Council is the appeal authority and determine the final outcome if any appeal by a party of record to a decision is made, per UDC 3.9.2.

## HISTORIC DESIGN REVIEW PROCESS

### TO BEGIN (BEFORE YOU DO ANYTHING)

To minimize your cost and make the review go more quickly:

- Consider how your planned project complies with these guidelines. If you understand and incorporate the guidelines, your project will move forward more smoothly. Although the guidelines are different for renovations versus new construction and additions, the review process is the same. Before you get started, identify similar ~~types of~~ contributing buildings and structures within your Development Zone to help guide your design.

**Commented [JTS46]:** I don't think this is true. New construction can use "nonhistoric elements" as long as they are compatible.

**Commented [JTS47]:** I think this is clear in the UDC, so we could quote it here, or better yet, maybe remove this. I think the idea is to say that the APHZAB review (and therefore, the adherence to these guidelines) is advisory, not binding on the director's decision.

**Commented [TM48]:** This is an odd statement. Jodie, if you like it, get rid of my highlight.

**Commented [JB49R48]:** I agree it is awkward, but it does put people on notice that Historic approval is not an end all.

**Commented [JTS50]:** Again, redundant to the UDC, and in this case, I don't think it's correct. Permits are good for at least 18 months and are automatically extended if the project is receiving regular inspections.

**Commented [JTS51]:** If this section is needed, I think it should come from PDSD, not the neighborhood advisory board. Not sure it should be in this document.

**Commented [TM52]:** Is PRS being lumped into "advisory board" here?

**Commented [JB53R52]:** I would recommend including PRS as it is mentioned in a later paragraph.

**Commented [JTS54]:** Would it ever be "boards"? I think it would be a single (HP) advisory board + PRS + DRB...

**Commented [TM55]:** May versus will. An applicant will interact with all of these listed entities.

**Commented [TM56]:** Should minor reviews be mentioned here for both PRS and the HZAB?

**Commented [TM57]:** The discussion of the HZAB needs to be more parallel with that of PRS and explain how it is one step of the process and PRS is the other.

**Commented [TM58]:** Jodie, please verify this term is correct.

**Commented [JB59R58]:** I generally refer to us as Historic section.

**Commented [TM60]:** Awkward - reword

**Commented [JM61]:** concur, or perhaps summarize reference

**Commented [JTS62]:** If this section is needed, I think it should come from PDSD, not the neighborhood advisory board. Not sure it should be in this document.

- It is strongly recommended that you contact APHZAB during the early planning stages of your project. APHZAB is your local resource to help guide you through the historic review and approval process. APHZAB members are aware of precedents, neighborhood architectural styles, and the applicable regulatory environment. Request a courtesy review by APHZAB with your preliminary plans and drawings prior to paying for formal drawings. This may save money and time while reducing the potential possibility of having to make extensive changes to your project. To schedule a courtesy review, contact the APHZAB chairperson or secretary by email at [aphzab@gmail.com](mailto:aphzab@gmail.com).
- To assist applicants in preparing for a historic review, APHZAB has established an unofficial "Start-Up Kit" folder, which is a collection of documents and information relevant to an applicant desiring a historic design review. The folder is available to the public at: <https://drive.google.com/drive/u/1/folders/1q1IMHpo9dcmCNqC5YdQziv2nUupLBZu8>.

The APHZAB public folder, which is updated quarterly, contains homegrown checklists for conducting minor and full design reviews. The checklists also have helpful comments to guide you through the respective processes. The PDSD subfolder is a consolidation of relevant application and information documents developed by PDSD. The PDSD subfolder has links to the City pages to ensure that the most up-to-date documents are available.

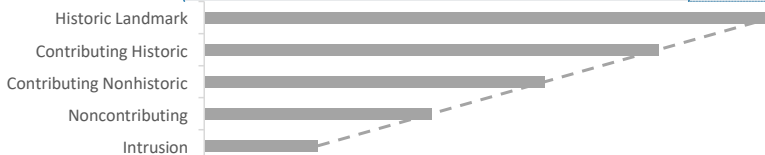
- If you have completed a courtesy review and followed the guidelines, you should be ready to initiate the historic design review process and confirm the type of review (minor or full) and submittal requirements. Contact the City of Tucson PDSD at (520) 731-5550. Be sure to mention that you are calling regarding a property in an HPZ.

## IMPORTANT TO KNOW

For a smooth review process, here are a few things it is important for you to know:

- Your Property Category:** The applicant's first step in the application process is to locate the subject property on the list of buildings and structures by parcel number or address (TSM 9-02.8.3). There are five categories for all properties within the HPZ: Historic Landmark; Contributing Historic; Contributing Nonhistoric; Noncontributing; and Intrusion. These guidelines identify key development criteria based on that category of property. In the case of new construction on vacant land, the applicant should review the Structures List to identify contributing properties within the subject property's Development Zone. Also, see the definition of *CATEGORIES OF DISTINCTION* in the Terms of Reference.
- Review Stringency:** Landmark properties or individually eligible historic buildings or structures generally have the most stringent review standards for proposed alterations. Primary buildings that are contributing also require stringent standards for review. Noncontributing buildings and structures and "compatible" additions have more flexibility in design review.

Degree of Review Stringency (Most to Least)



- The Development Zone:** The Development Zone concept is used in the UDC to define a specific area adjacent to a parcel that should be used for context in reviewing any development proposal. Please see UDC 11.4.5. Because the unique character of each area is already defined and established by the patterns of historic development within the HPZ, the Development Zone is used to ensure appropriate compatibility for any new projects within that zone. As used in HPZs, it is primarily used for new construction. It may be used when new secondary buildings or large additions are developed on an established parcel for compatibility to the larger area. It is not used on contributing structures that are defined by their own historic elements. Please also see the TERMS OF REFERENCE section for more Development Zone information.

**Commented [JTS63]:** Not sure that it can be unofficial if it's a part of this official document. PRS is charged with evaluating whether or not a project conforms to the neighborhood guidelines... are these documents included.

**Commented [TM64]:** Should this link really be included? It could change. Maybe an interested applicant could email the address noted directly above and ask for it. Who maintains the link?

**Commented [JTS65]:** I did not review the linked document and don't think it's a good idea to link a (potentially changing) document in the neighborhood guidelines.

**Commented [JTS66]:** This is concerning. How are these reviewed and vetted?

**Commented [O67]:** What is a homegrown checklist?

**Commented [TM68]:** Is the public folder the same as the "Start-Up Kit Folder"?

**Commented [JTS69]:** Seems like this number could easily change and force an update to this document.

**Commented [JTS70]:** 9-02.8.3 does include a list, but I don't know where these terms are defined. [Aaah... found it – "categories of distinction" in the "terms of reference" – see comments there as well]. Also, many properties are listed with a status of CH/NHNC (which, if I read it correctly is Contributing Historic, Non Historic, Non Contributing ... not sure what all that means).

**Commented [JTS71]:** Don't understand this. Is "these guidelines" this document? Are the "development criteria" the following graphic?

**Commented [TM72]:** Is this what it is titled? If yes, too bad that the term is technically not correct or inclusive.

**Commented [TM73]:** One word

**Commented [JTS74]:** I hate this. Not just the graphic, but the entire bullet point. I think I understand the idea behind it, but by the time it made it into the document it is misleading and confusing. Different standards apply yes, but they are all applied with the same rigor.

**Commented [EHB-(75)]:** I tend to agree with Jim – this is mixing categories with review procedures. While the significance of a property is an important consideration in

**Commented [JTS76]:** I think DZs are just for HPZ, not used anywhere else. I also think they are used for both ne

**Commented [TM77]:** Jodie, do you agree with this statement?

**Commented [JB78R77]:** Yes. It is appropriate to reference adjacent properties for new construction.

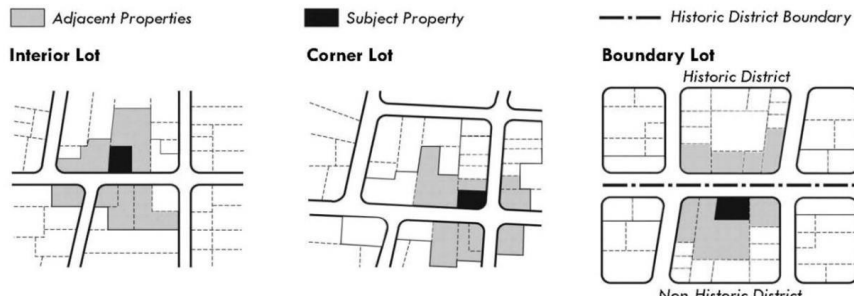
**Commented [JTS79]:** I don't think this is true. The renovation of an existing historic contributor needs to be

**Commented [JB80R79]:** The rehabilitation/restoration/preservation of a historic

**Commented [JTS81]:** If this gets renamed (and I think it should), name needs to be changed here.



- Where the subject lot is an interior lot, the Development Zone includes that lot, all lots on either side of that lot and fronting on the same street in the same block, and all those lots on the opposite side of that street, except such portions of the Development Zone that fall outside the boundary of the HPZ.
- Where the subject lot is a corner lot, the Development Zone includes that lot, the corner lot diagonally opposite that lot, all lots fronting on the same two streets in the same block, and all lots on the opposite sides of those streets, except such portions of the Development Zone that fall outside the boundary of the HPZ.
- Where the subject lot is located adjacent to a HPZ boundary, the Development Zone includes that lot, all lots located within the same block, and those lots facing the same street as the subject lot within one block in either direction, except such portions that fall outside the boundary of the HPZ.
- When there are no contributing properties, or a very limited number in the applicable Development Zone, further guidance should be requested. In limited and specific cases, an expanded Development Zone may be required before the full review of a project. A fee is required. Either APHZAB or an applicant may request from PDSD a limited expansion of a Development Zone in specific situations. However, because an expanded Development Zone will apply to all future applicants as well, they are usually very specific. In most cases, however, other nearby contributing properties may provide reasonable guidance for review. APHZAB, at its discretion, may consider other relevant, contributing historic district examples as appropriate for context on a specific project to ensure no adverse impacts to the Development Zone.



**Commented [JTS82]:** Again, duplication of UDC material. Bloating, synchronizing, confusion and ambiguity concerns.

**Commented [TM83]:** “ensure” is correct, “insure” is not (one insures their car, for example)

## GENERAL CONSIDERATIONS

Under UDC Section 5.8, property owners in the APHPZ are required by City of Tucson to have any external changes or additions to their property reviewed and approved prior to initiating any demolition or construction. Failure to have the appropriate approvals in place prior to beginning your project may have negative consequences, which may include stop-work orders, fines, formal zoning violations, loss of the historic property tax break, and having to restore your property to its prior condition.

APHZAB will review all exterior changes to any principal building/structure or accessory structure within the HPZ. It also reviews all new, permanent construction. It then makes a final, formal recommendation after a full or minor review. This recommendation is then considered by other reviewers of the project, including PRS and the PDSD director.

To ensure that your proposal fits within the established design guidelines of Armory Park, we strongly urge you to discuss the project at the concept stage first with APHZAB and then the staff of the Historic Preservation section of PDSD. You are also encouraged to become familiar with these design guidelines and the general standards, guidelines, and definitions in UDC 5.8.

Apply these questions to your proposed plans before you come to APHZAB meeting. If you answer “yes” to all the questions, your plans will probably receive the board's recommendation for approval:

- Are exterior alterations and changes kept to a minimum?
- Do the plans fit the building or structure's original design and any historic changes (i.e., changes during the period of significance)?

**Commented [JM84]:** concur

**Commented [TM85]:** Much of this is redundant with earlier discussion? Can the text be combined?

**Commented [TM86]:** First time an accessory structure is mentioned.

**Commented [EHB-(87)]:** The accessory structure issue is confusing. It is often unclear whether such structures are contributing or not. Most AP property forms, but not all, include accessory structures in their documentation.

**Commented [TM88]:** Earlier discussion of what a minor review is needed.

**Commented [JTS89]:** Is this really the goal? If the owner is proposing removing inappropriate interventions, more changes are better.

**Commented [JTS90]:** This seems like a better place to include the dates of the POS... rather than in the statement of purpose above.

**Commented [TM91]:** Adjust “dead” space

- Are the plans compatible with the surrounding properties and streetscapes within the (Development Zone) and streetscapes?
- Are changes visible from the street sides of the building kept to a minimum?
- Are all materials appropriate to the building and to the neighborhood?
- Are the original sizes and shapes of window and door openings maintained?
- Are original and distinctive architectural details kept retained?
- Are original building materials maintained?

Inappropriate alterations that do not meet these criteria may result in loss of eligibility for the State Historic Property Tax Reclassification Program (the "tax credit" for historic residential properties occupied by owners or immediate family members). For specific guidance about how to meet these Standards, contact the Tucson Historic Preservation Office, phone (520) 791-5550.

#### ARMORY PARK DESIGN REVIEWS

In Armory Park, there are two types of courtesy reviews that provide APHZAB feedback to the applicant. APHZAB encourages these types of early reviews to help the applicant refine potential plans and save unnecessary costs:

- Courtesy review based upon a concept: The applicant initiates a dialogue with APHZAB for feedback based upon preliminary concepts.
- Courtesy review based upon design drawings: The applicant initiates a dialogue with APHZAB for feedback based upon architectural drawings.

There are two types of HPZ design reviews that result in APHZAB recommendations:

- A Minor HPZ Review is for projects that do not require building permits (UDC 5.8.8.C). This work can include but is not limited to: projects such as electrical box repairs/upgrades, walls, fences, gates, and window and door repair work. PDSD organizes a meeting with a member from APHZAB and one from TPCHC PRS. A review is conducted on-site with the applicant present, and recommendations are forwarded to the PDSD director. The director issues a decision letter to the applicant with one of three outcomes: approval, approval with conditions, or denial of the project.
- A Full HPZ Review is required for any alteration involving the exterior modification, addition, or moving of any part of the existing building or structure, including signage that would affect the exterior appearance (UDC 5.8.8.B). All new construction requires a full design review. Reviews by both APHZAB and the TPCHC PRS are required. The Director issues a decision letter to the applicant for either approval, approval with conditions, or denial of the project. If the project is approved and no appeals are received within 14 days of the date of the signed letter, permits can be issued. The unofficial APHZAB checklist describes the respective processes with helpful hints.

During a full design review, APHZAB may identify issues with respect to the design that could potentially result in an unfavorable recommendation. An applicant may then request a one-time continuation. Only one continuation is allowable during a full review. More continuations may be allowed for a courtesy review if necessary. A continuation effectively postpones a recommendation by APHZAB and enables the applicant an opportunity to modify the design based upon board feedback for a future review. The board APHZAB is more than willing to work with an applicant to get the proposal right and limit wasted time and expense.

Courtesy and full design reviews must be scheduled on APHZAB agenda per the Arizona Open Meeting Law.

Reviews are not required for the conduct of routine maintenance. Typical examples include: painting, replacement of broken window glass, shingle repair (not re-roofing), in-kind replacement of wood rotted boards, patching stucco, landscaping, security lights, etc.

The following information is required or requested for all design reviews:

**Commented [EHB-(92)]:** Jim's comment brings up the question of when a term is being used technically vs. colloquially.

**Commented [JTS93]:** Compatible is being used as a shorthand a lot and I understand why, but there are things that must be compatible (rhythms, patterns...) and other things that have absolute definitions (height). Need to make that clear somewhere if we're going to re-state the UDC requirements (or, just include a reference to the UDC to simplify and shrink this document).

**Commented [EHB-(94)]:** Visible from the public right of way?

**Commented [JM95]:** perhaps, instead, 'are compatible'?

**Commented [JTS96]:** Is this really the goal? If the owner is proposing removing inappropriate interventions, more changes are better.

**Commented [JM97]:** or do you mean 'retained'?

**Commented [JTS98]:** Another phone number... should they be included?

**Commented [TM99]:** Some of this discussion is also redundant with earlier text, and should probably be merged with it. Here we have a discussion of minor reviews which should come earlier when first discussed.

**Commented [JM100]:** as sentence constructed, this read (to me) as applying just to signage.

**Commented [JTS101]:** Is this true? Is it policy or statutory? I'm sure I've seen cases with more than just one continuance.

**Commented [JTS102]:** I think it would be important to specify that a new roof does require review.

**Commented [TM103]:** This para probably belongs somewhere else in the document.

**Commented [JTS104]:** I think it would be important to distinguish what is required and what, beyond that, is requested.

**Commented [EHB-(105)]:** I agree with Jim. It's so frustrating to deal with partial information.

- Aerial view of the Development Zone with contributing properties identified.
- Site plan with all dimensions clearly shown.
- Architectural plans including window/door schedule, details, materials, details and possibly floor plans, especially when relevant to exterior concerns.
- Exterior elevations whether seen or unseen from the street for the sides of all proposed changes. May be pictures or drawings with all relevant dimensions and a clearly labeled distance scale. Labeled dimensions should include heights, lengths, widths, window and door dimensions and locations, and locations and dimensions of other features.
- The following supplemental information should be included to help reviewers better understand the proposed application:
  - Photographs of all sides of the existing site.
  - Photographs of examples in the Development Zone of non-standard materials (i.e., corrugated siding on outbuildings, steel sash windows). Any replacement of a noncontributing door for instance should show style proposed and how it relates to the building or structure and other contributing examples of the style.
  - If you are proposing to use alternative or "green" materials, bring a brochure and a sample to the reviews.

For a complete checklist of requirements please refer to the HPZ Application for details. NOTE: A minor review may be possible for projects not requiring a building permit. PDSD Staff will determine if the project requires a full or minor review. It is important to bring as much information as possible to all review meetings to communicate your plans.

## DEMOLITION

APHZAB does not support the demolition of any contributing property or design element in the HPZ. APHZAB does support all initiatives to preserve the historic and architectural resources in their original appearance, setting, and placement. Unlike the addition of a new building or structure or changes to an existing one, the demolition or relocation of a historic property may or may not involve a review of any design details by APHZAB. The City Historic Preservation Officer and PDSD staff review all demolitions.

APHZAB input should be requested. However, no demolition can legally occur without a demolition permit first being issued. Partial demolitions are limited to non-character-defining elements of a contributing property, such as a significantly modified or damaged rear porches or non-historic additions. The UDC (5.8.10) describes the process for obtaining a demolition permit that includes a recommendation by the PDSD Director and approval by Mayor and Council. The section also identifies potential fines and remediation.

Beyond the above specified involvement, the Advisory Board serves as a supplemental source of information to those others directly involved in the demolition process, specifically: the PDSD Director, TPCHC PRS, and the City of Tucson Mayor and Council. It is the intention of the Advisory Board to exercise this option, and duty, in the spirit of being a provider of factual, relevant, and reliable information that otherwise might not be known, let alone be readily available for review and consideration. This option may extend to the provision of data relevant in the assessment of penalties and remedies, for example, information relating to the significance of the building or structure.

APHZAB promotes the active maintenance and preservation of properties in the HPZ. Property owners who intentionally allow a historic property to deteriorate, potentially beyond the point of repair, may be responsible for "demolition by neglect." Property owners who use this kind of long-term neglect to circumvent historic preservation regulations may be in violation of the code and subject to enforcement and remedies by the city.

(KT)



**Commented [TM106]:** Always use commas after "i.e." and "e.g."

**Commented [TM107]:** Is this the correct term here? Would "inappropriate" be better?

**Commented [JB108R107]:** Rather than inappropriate, I would recommend non historic.

**Commented [JTS109]:** "plans" is an overloaded term... I'd suggest "ideas" since "plans" might mean "floor plans" to some.

**Commented [TM110]:** Would "character-defining feature" be better than "design element"? Not really sure that there is such a thing as a contributing design element (but of course I could be wrong).

**Commented [EHB-(111)]:** I agree with Terry.

**Commented [TM112]:** Not sure this discussion is correct. Jodie, please clarify the role of TPCHC PRS vis-à-vis demolitions.

**Commented [JB113R112]:** The last sentence is correct. For any contributing structure the practice has been to take it to the HZAB and PRS prior to M&C.

**Commented [JM114]:** concur

**Commented [JTS115]:** Yay! I like this treatment – mention the concept and direct them to the relevant section of the UDC.

**Commented [TM116]:** ??????

**Commented [JM117]:** APHZAB, Advisory Board and board all used

## OVERVIEW OF THE ARMORY PARK HPZ

### Principal Armory Park Styles and Periods

Sonoran (Transformed)  
1880

Greek Revival  
1890

Italianate  
1880 – 1920

Queen Anne  
1890 – 1920

Cottage  
1895 – 1925

Sullivanesque (Trost)  
1900

Bungalow  
1905

Craftsman  
1910

Mission Revival  
1915 – 1930

Pueblo Revival  
1920 – 1925

Spanish Colonial Revival  
1925 – 1940



Sonoran (Transformed)



Greek Revival



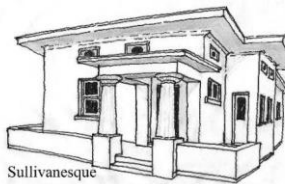
Italianate



Queen Anne



Cottage



Sullivanesque



Bungalow



Craftsman Bungalow



Mission Revival



Pueblo Reviva



Spanish Colonial Revival

The APHPZ is the area originally designated in 1974 and expanded in 1983 that is within the larger National Register-listed Armory Park Historic Residential District. It is also an important part of and supported by the Armory Park Neighborhood Association with its separately defined boundaries.

The neighborhood is historically significant because it exemplifies the many patterns of community development in Tucson as the city grew and changed over an extended period from the 1860s to 1945. Today, it retains the unique character of its many development cycles and maintains an early 1900s neighborhood development pattern, with at least 20 different architectural styles. They include: Mexican Vernacular, Sonoran (Transformed), and various American styles and revivals, including Anglo-Territorial, Queen Anne, Greek and Roman Revivals, Neoclassical Revival, Spanish Colonial and Pueblo Revivals, and Mission Revival as well as **and** newer Bungalow styles such as Craftsman, California and Prairie Schools, Sullivanesque, and later Minimal Traditional and Early Ranch styles, among others. Houses are set back from the street to accommodate front porches. Fixed-glass windows with shutters and wooden sash windows began to appear. Brick construction on stone

Commented [EHB-(118)]:

Commented [EHB-(119R118)]: I do think it's helpful to provide examples of styles. I would suggest adding "Sonoran" to "Sonoran (Transformed)".

Commented [JTS120]: Mismatched style names below: "Craftsman"/ "Craftsman Bungalow"; "Mission Revival"/ "Mission Reviva"; "Sullivanesque (Trost)"/"Sullivanesque". Not sure if this Overview section is needed in Design Guidelines.

Commented [TM121]: See official name of district at <http://www.nationalregisterofhistoricplaces.com/az/pima/sate.html>

Commented [JM122]: stated previously

Commented [TM123]: awkward

Commented [JTS124]: This list doesn't match the listed styles in the graphic above.

Commented [TM125]: This sentence seems to need something. When did these window types appear? Review this text carefully and figure out if something is missing or ?

Commented [JTS128]: "(JB)"?

Commented [TM126]: What is going on here?

Commented [JM127]: concur



foundations is common. As with modern construction, buildings reflect the preferences of the individual builder and may not fit exactly within a single style, though most will fit into one of the styles above.

The principal avenues and streets follow the patterns of Anglo and American use with a central house set back from the street surrounded by larger yards, with some conformity to setbacks. The original lots in Armory Park were 66' wide by 184.8' and nearly a quarter acre; however, many have been subdivided into usually two, sometimes three or four parcels, especially along east-west streets.

Many of the earliest houses were built on the small lanes that became minor avenues (named alleys). The alley streetscapes are one of the most defining aspects of the neighborhood, having developed largely along the Mexican-American site planning of the earlier barrios. It is particularly important that the alleys be preserved as vital and active links within the neighborhood, and new development or property alterations should respect this area when property improvements are contemplated.

Since most of the early population did not own automobiles, many residences often had a carriage house, many of which have been renovated into guesthouses or garages. Carriage houses are significant remnants of another time and should be preserved. However, by 1945 many homes included a garage, always in a separate unattached building and usually set back from the house and, often opening onto the minor avenues.

Each block is unique. However, a defining characteristic of the neighborhood is the general and irregular lack of driveways and parked cars visible within the front yards of properties. As more residential buildings are divided into multi-units and more secondary units are built in the rear of primary residences, there has been more-increasing pressure for increased-additional parking spaces/areas. Autos parked in front-yard areas and stacked one-after-another in driveways are not in keeping with the historic character of the area/District. Another defining characteristic of the neighborhood is unobstructed views of the fronts of houses, so fencing, gates, and screening of the front yard must be carefully done. Other defining characteristics may include:

- Wide streets and major avenues with parallel parking along the curb. The right-of-way consists of concrete curbs; planting strips, which may contain historic streetlights, signage, utilities, and street trees; concrete sidewalks; and unpaved strips between the sidewalk and property line.
- Retaining walls in locations required by street grading, and fencing up to the property line of varying types but of within a height range
- Relatively consistent spacing of structures along the block face

Minor avenues (named alleys) with smaller structures set closer to the edge of paving. Minor avenues tend to have parking along one side.

The Armory Park neighborhood is interesting because of the variety of and proximity of the many architectural styles that are evident. It is unusual to find this diversity/diverse-variety of styles in one neighborhood. Buildings and structures representing each of these styles should be preserved.

## DESIGN STANDARDS SPECIFIC TO ARMORY PARK FOR NEW CONSTRUCTION

Height - Building height compatibility can be accomplished by comparing similar types and styles of buildings. For example, a parapet-roofed structure cannot use the same height measurement as a gabled or hip-roofed structure. Even with the same height, vertical sides rising full height have a much greater impact on the surrounding area. Height in the HPZ is measured as the vertical distance between the highest part of a building or structure and the finished grade at the midpoint of the front facade of the principal building. This definition only applies in the Zone, by code.

Setbacks - The building street setback should be uniform with prevailing setbacks in the project's Development Zone.

Proportion - The proportions (height, width, and massing) of new buildings should be within the range already-established by contributing structures in the project's Development Zone.

Commented [TM129]: Watch use of these terms

Commented [EHB-(130)]: Could you say "named alleys" to avoid confusion here? Or just define minor avenues as "named alleys" once, and from then on simply call them "minor avenues."

Commented [TM131]: Phrase needs editing. Are authors trying to say that the development of alleys in AP were a result of influence of the Mexican-American barrios elsewhere in Tucson or ?

Commented [EHB-(132)]: What does this mean?

Commented [TM133]: Per Merriam-Webster

Commented [TM134]: Something missing here?

Commented [EHB-(135)]: "named alleys"

Commented [JM136]: "may feature"?

Commented [JM137]: in Tucson?

Commented [TM138]: Is this last sentence appropriate here?

Commented [JTS139]: I don't think this matches UDC height criteria. Is this a conscious departure from UDC requirements or a failed attempt to summarize/reword UDC requirements? Final sentence makes me think it's an attempt to reword the UDC code requirement. All of the following re-wordings need to be double-checked against the UDC (or removed and replaced with a reference).

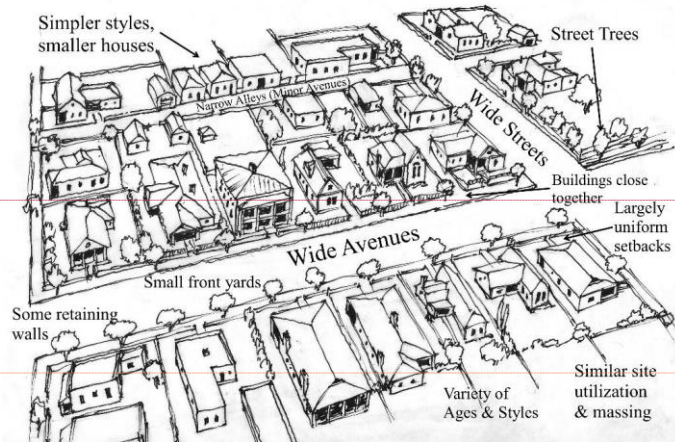
Commented [JM140]: than xxx...

Commented [TM141]: Clarify that "Zone" = APHPZ



Roof Types - The relationship of a new or altered building to the historic buildings and structures in the Development Zone will be strengthened by repeating a roof type that is prevalent within the zone. For additions or accessory structures on a contributing property, the roof type must be compatible with the contributing property.

Surface Textures and Materials - Apply surface textures and select building materials that are in keeping with materials seen within the project's Development Zone. The use of nontraditional building materials needs to be judged on a case-by-case basis.



(JB)

**Commented [TM142]:** I think when using "Zone" to mean "Development Zone," it is more appropriate to lower case "zone."

**Commented [JM143]:** Unlike other standards in this section, this one starts with incomplete sentence.

**Commented [TM144]:** What are some examples of nontraditional building materials?

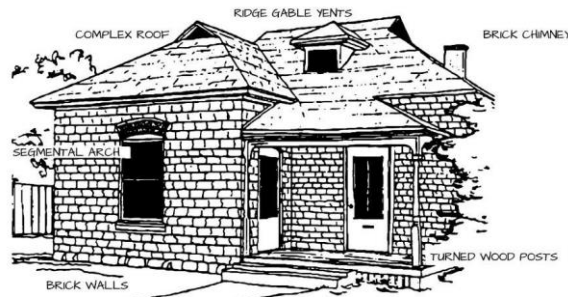
Site Utilization - Site utilization generally indicates size, scale, and relationships and distances between sides of various buildings, but also include general patterns of types of development types such as Spanish/Mexican Vernacular tradition, or Anglo-Territorial site usage. Some variations to these are extant in the HPZ but others are not, such as fully enclosed Courtyard House development. Any new construction, alterations, and additions should observe the same or compatible spacing and positioning established by contributing buildings and structures within the Development Zone. Also, intensive lot development may not be characteristic of a particular Development Zone—for example, construction of an apartment block in an area characterized by smaller single-family residences.

Projections and Recessions - Your project must consider the presence or absence of prevailing projections and recessions in your Development Zone, in order to assure that the development is compatible with the designs of surrounding buildings. Front porches and street-oriented entrances are a defining characteristic of the neighborhood, whatever the style of the building. Compatible overhangs and facade details such as window and door openings as well as their sizes and locations are character-defining features to be considered.

Details - Examples of character-defining details include: wall finish (brick, stucco, etc.), parapet treatment, roof trim/shape/gables, eaves and verge treatment, door and window openings. These details must be compatible with the primary contributing structure as well as existing historical periods and styles in your Development Zone. Details are addressed later in the Guidelines.

Building Forms - Maintaining the character of a neighborhood through building form, including size, mass, and scale, reinforces the sense of conformity and compatibility essential to historic preservation.

Rhythm - Similar patterns of both siting and character-defining elements of new structures-construction or additions should be compatible with both contributing properties and those patterns of the larger Development Zone and



(WUZHAB)

neighborhood. Rhythm includes patterns and scale of openings within individual facades, insets and

**Commented [EHB-(145)]:** Indentations?

**Commented [TM146]:** What is going on here?

projections of massing, and relative facade proportions within a block faces. Rhythm also speaks to the pattern of doors and windows openings on the building—the solid/void pattern. Consistent rhythm between a historic building and a proposed addition preserves the character of the whole property. The rhythm of recurrent building masses and site utilization helps define the quality of the streetscape.

**Commented [TM147]:** “face” or “faces”?

## DESIGN GUIDELINES FOR NEW CONSTRUCTION, RENOVATIONS, ALTERATIONS, AND ADDITIONS

**Commented [JTS148]:** Is this the actual “meat” of the document? If so, seems unfortunate that it’s showing up on page 15 of this word document.

### OVERVIEW

The objective of APHZAB is to maintain the historic character of the neighborhood and integrity of the HPZ. The focus is on the exteriors of buildings and structures and their sites, especially what is visible from the street. All exterior sides of buildings and structures, roofs, details, materials, and other attributes are also subject to design review. APHZAB recognizes that each project involves a different context and set of goals, and therefore will consider them on an individual basis.

**Commented [JTS149]:** Public right-of-way? I think so, it should be clear that views from alleys are also important.

**Commented [O150R149]:** I think public right-of-way is appropriate here

**Commented [EHB-(151)]:** I agree with Jim. “Public right of way” will automatically include minor avenues (alleys).

All new construction, renovations, alterations, and additions freestanding and/or added to a primary or secondary building or structure in the APHPZ must be reviewed by APHZAB. This includes:

- Residential, commercial, or institutional buildings and structures, both primary and accessory.
- Buildings or structures that are moved into the district.
- All architectural elements both structural and nonstructural.
- Permanent new buildings and structures requiring any of these: footing, electrical connection, plumbing, or permanent installation including hardscape elements. Examples include new fences, walls, gates, screens, walkways, driveways, or attached exterior lighting.

**Commented [TM152]:** Highlighted phrase is awkward

**Commented [JTS153]:** I know this has already been covered at least once in this document.

**Commented [JTS154]:** Again, some things need to be compatible, height is an absolute.

**Commented [TM155]:** Confirm that color is part of the review

**Commented [EHB-(156)]:** Is color reviewed by APHZAB?

If you are considering a new construction project in the HPZ, you first need to determine the prescribed Development Zone (UDC 11.4.5). Your new construction project should be compatible with the existing street and building patterns of the Development Zone for your project. The site design, setbacks, form and massing, height, roof type, materials, details, and color should be considered when designing your new project to be compatible with the historic character of the neighborhood.

**Commented [JTS157]:** Not sure this is a good statement of the requirement. I think the UDC references compatibility with the other like items (buildings, structures...) in the DZ.

### RELOCATING BUILDINGS

The guidelines for primary and secondary buildings and structures apply to any that are relocated into any HPZ.

**Commented [TM158]:** Does secondary = accessory here? If yes, define somewhere that the terms are interchangeable.

### DESIGN APPROACH CONSIDERATIONS

Consider these questions as you develop your proposed plans:

- Are exterior alterations kept to a minimum?
- Do plans fit the building or structure’s original design?
- Is your project differentiated yet compatible?
- Are changes visible from the street side(s) kept to a minimum?
- Are original building materials maintained?
- Are all materials appropriate to the building Development Zone and the HPZ?
- Are the original sizes and shapes of window and door openings maintained?
- Are original and distinctive architectural details (character-defining features) kept?
- Are traditional views unobstructed by proposed walls, fencing, or landscaping?

**Commented [JTS159]:** Same concern as where this list first showed up in this document. Seems to me that the list should only appear once in the document.

**Commented [EHB-(160)]:** Are plans compatible?

**Commented [EHB-(161)]:** Public right of way, as above.

**Commented [JTS162]:** Same as described above somewhere.

**Commented [JM163]:** same comment in earlier listing

**Commented [TM164]:** Do they mean retained instead? Maintained has another connotation.

**Commented [EHB-(165)]:** Not sure what this means. Retained?

**Commented [TM166]:** Same question above re maintained vs. retained.

Your participation in the design review process ensures the preservation of the original architectural character for which Armory Park is known. Cooperation and early dialog can frequently eliminate frustration stemming from the misinterpretation of the ordinance and review procedures.

When contemplating new construction in a historic setting, consider one of three strategies based on three possible attitudes toward the existing setting or resource: 1) literal replication, 2) invention within the same or a related style, and 3) abstract reference as applied to your design approach. These options represent a range of responses to the call for “differentiated” yet “compatible” designs for new construction, renovations, alterations, and additions in an historic setting found in the Revised Secretary of the Interior’s Standards and Guidelines (Grimmer 2017) and referred to in TSM 9-02.3.0.

- **Literal Replication** – Most applicable to additions and alterations, this approach requires that the historic elements to be replicated are well understood, and the technical means to effect replication are available. This is not a generally a viable option in Armory Park and is usually not consistent with the SOIS, as it creates a false sense of history. It is mostly used on individual Landmarks that undergo complete restorations to a specific historic era.
- **Invention within the Same or Related style** – Well-suited to additions and freestanding buildings or structures, this strategy, while not replicating the original design, adds new elements in either the same or a closely related style, sustaining a sense of continuity in architectural language. The intention is to achieve a balance between differentiation and compatibility but weighted in favor of the latter. This is the most commonly used approach.
- **Abstract Reference** – Most applicable to new freestanding buildings or structures on vacant lots, the third strategy seeks to refer to the historic setting while consciously avoiding literal resemblance or working in a historic style. This approach seeks to balance differentiation and compatibility, but with the balance tipped toward the former. Pursuing this approach would most likely require the assistance of a trained design professional, as many historic styles cannot be reduced to abstract shape and still retain its distinctive “composite” quality; therefore thoughtful study would will be required. This approach will call for close scrutiny in the review.

New projects should consider the integrity of the historic streetscape, predominant architectural styles, and architectural details or elements of characteristic buildings within the project’s Development Zone and be reflective of the HPZ’s “period of significance” (1860s–1945). New projects should also incorporate certain architectural details, styles, or elements of characteristic buildings in order to do this but not to the degree that a false sense of history is created.

The primary design influence for your project should come from existing contributing elements within your Development Zone. Other design elements from outside your Development Zone that you wish to incorporate must be established within the HPZ and will only be considered by APHZAB on a case-by-case basis that illustrates general compliance and compatibility within the district. Such variations may require formal approval by PDSI.

In addition, your project will need to address Key Development Criteria relating to heights, setbacks, proportions, roof types, surface textures, site utilizations, projections and recessions, details, building forms, and rhythms as outlined in TSM 9-02.3.0.

In general, repair and maintenance of historic building, structure, or streetscape features should always be a priority before considering replacement or alteration. Routine maintenance is the best method to preserve historic structures. The National Park Service publishes two *Preservation Briefs* that provide maintenance guidance. (see “Resources” section in these Guidelines for a link to these Briefs).

Please note that review is significantly more stringent for alterations and additions to contributing historic buildings and structures or streetscape features, and these must complement the character-defining elements and characteristics of the contributing building, structure, or streetscape, based on the applicable codes. No renovation or expansion of an existing building or structure should impact the eligibility of its contributing status. More leeway is possible on vacant parcels and building sites and for accessory structures. See SPECIAL ZONING PROVISIONS, below.

There are a few lots in Armory Park that may be eligible for development using the Flexible Lot Development (FLD) provisions. Such developments may include higher than typical density and looser application of architectural details, but key design elements of height, form, and siting must be compatible with the Development Zone and neighborhood.

**Commented [JTS167]:** This seems more aspirational than true. Should it be reworded to say something like “the goal of the review process is ...”

**Commented [TM168]:** Jodie, please review this carefully to ensure that AP hasn’t inserted their own interpretation of this.

**Commented [JB169R168]:** The comment is general and seems to be appropriate.

**Commented [JTS170]:** Are they using “ordinance” to say “UDC”? If so, why not just say “UDC”?

**Commented [TM171]:** This paragraph is very similar to text elsewhere in the document.

**Commented [EHB-(172)]:** This should probably be moved to the end of the section.

**Commented [JTS173]:** Are these guidelines trying to give design advice to architects? Seems inappropriate to me (but maybe I’m sensitive).

**Commented [TM174]:** Wordsmith this. Landmarks should probably be “landmarks.” See what revised SOIS guidelines say.

**Commented [JTS175]:** I don’t think this is a question of balance and certainly not one where there is a weighting toward one or the other. “The new work shall be differentiated from the old and shall be compatible with...” says that both must be true.

**Commented [TM176]:** Is this AP interpretation or ?

**Commented [JTS177]:** Previous sentence was an APHZAB interpretation and an incorrect one I think.

**Commented [JTS178]:** This feels like a signal that the review will be harder, so don’t do it. I think this whole section (going back to “when contemplating new construction...”) should probably be rewritten or scrapped.

**Commented [EHB-(179)]:** Not sure this sentence is needed.

**Commented [TM180]:** What about this sentence? Is it accurately portraying what kind of formal approval would ...

**Commented [JTS181]:** I think this is wishful thinking... ...

**Commented [EHB-(182)]:** Suggest dropping this ...

**Commented [JTS183]:** Is this defined somewhere (I ...

**Commented [EHB-(184)]:** Agree this is a problem. ...

**Commented [JTS185]:** I don’t think this is correct. ...

**Commented [JTS186]:** I don’t agree with this... the cod ...

**Commented [JM187]:** concur with both comments

**Commented [EHB-(188)]:** I’m not sure this paragraph ...

**Commented [JM189]:** and I don’t understand why we’ ...

**Commented [JTS190]:** Really? I didn’t think that FLD ...

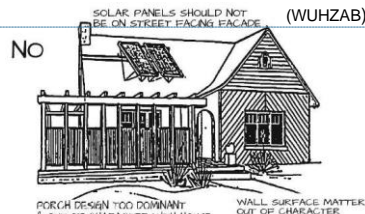
**Commented [TM191]:** HPZ more accurate? I made a ...

**Commented [EHB-(192R191)]:** Agree with Terry.

## ALTERATIONS OF AN EXISTING RESIDENTIAL BUILDING OR STRUCTURE

The appearance of contributing residential buildings or structures should remain unchanged as far as feasible. These are important elements:

- Exterior alterations visible from the street should be kept to a minimum.
- Original character defining elements of the building such as roof form, and roof elements, rhythm (windows, porches, and doors), projections (porches, steps, dormers, etc.), architectural details, materials, and site elements including scale should be maintained. See the description and drawings of the building types and styles located throughout the guidelines.
- Alterations should be compatible with the building or structure's original design features and may include any historic changes and additions made during its period of significance.
- Any alterations and new or replacement materials should be compatible with the contributing building or structure's characteristic or defining features.
- Openings, including windows, doors, and porches should not be filled in or modified *in any way*, especially on principal facades. Their original materials, sizes, shapes, and general designs should be maintained. Any replacement or replicated elements must retain original characteristics including proportions, scale, pattern, and design.
- Place additions to the rear of existing buildings. These include new rooms, porches, decks, and stairs. Do not alter principal facades. Visible modifications should not impact the character or integrity of the contributing building or structure.
- Keep additions simple and appropriate in size, shape, materials, textures, color, and detail that are compatible with, but do not duplicate or replicate, the existing building. Do not create a false sense of history by making an addition appear original to the building or structure.



## NEW CONSTRUCTION – PRIMARY BUILDINGS

New construction of primary buildings should be based on the historic streetscape and building patterns that are seen in the project's Development Zone. If there are no contributing buildings within the project's Development Zone, adjacent zones or district standards may be considered by the Board.

Key Development Criteria should be considered in primary building projects. In addition, note these additional guidelines in your new primary building project design approach:

- Emphasize front entrances and orient them to the main street. See PORCHES, below.
- When possible, off-street parking structures should generally not be visible from the street; place parking and service facilities to the rear or in some limited cases, the side of the structure. Screening may be required on a case-by-case basis. Utilize landscaping and other screening elements such as fencing to screen these areas to avoid negatively impacting adjacent properties.
- Generally, single family residential units are exempt from parking requirements and allow for on-street parking.
- Garages should not be attached to primary buildings but should be compatible with similar structures located in the Development Zone. (Note: This applies on major avenues but does not always apply on streets. It is also significant whether it is a new garage associated with a contributing building or a noncontributing building.)

**Commented [JTS193]:** Why just residential?

**Commented [JTS194]:** This list feels like a restating of the UDC requirements and things already covered in this document. I don't see how a reviewer will be able to synthesize all of these ideas when they're restated so many times and spread through such a large and dense document. I feel the need for a "cheat sheet". I would love to have a two to three page bullet list of things that are different from the general UDC requirements.

**Commented [JTS195]:** Should this be "public right-of-way" or "public view"?

**Commented [EHB-(196)]:** Public right of way

**Commented [JM197]:** retained?

**Commented [JTS198]:** I don't think this is correct. In that case the applicant should request a modified DZ, right?

**Commented [EHB-(199)]:** Doesn't this require a request for expanded development zone? Or is that only in the case for PRS review?

**Commented [JTS200]:** Huh? Not sure that this is true.

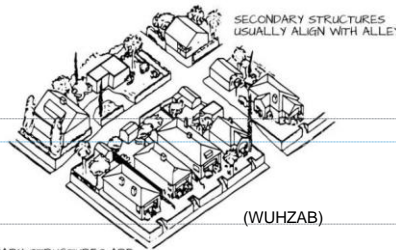
**Commented [JM201]:** is reference here to named streets, vs more generically as in two bullets above? and minor avenues?

**Commented [JTS202]:** Confusing to have an absolute rule, than some statements about "not always"... would love to see this reworded so that it could be used consistently in reviews.



Major landscaping features such as mature trees and shrubs should be maintained. This is important especially where plantings fit within a pattern on the block. Please see the "Landscape and Streetscape" section.

- All sides of buildings and structures should contribute to the overall design and relate to each other. All exterior elevations of buildings and structures (seen or unseen from the adjacent area) are subject to design review.
- The most significant facades are the ones most visible to the streetscape and public view.



## NEW CONSTRUCTION – SECONDARY BUILDINGS AND STRUCTURES

New construction of secondary buildings should be based on the historic neighborhood patterns that are seen in the project's Development Zone. If there are no contributing secondary buildings within the project's Development Zone, adjacent zones or HPZ standards may be considered by the Board.

Key Development Criteria should be considered in Secondary Building projects (see "Overview" Section near the beginning of this document for a list of these criteria). In addition, note these additional guidelines in your new Secondary Building project design approach:

- Secondary Buildings (e.g., guesthouses, garages, etc.) should be constructed in the rear of the property and should not be attached to the primary structure. If the primary building is historic, an additional Secondary Building should be "differentiated" from yet "compatible" with the Primary Structure as noted in the "Overview" Section of these Guidelines. Note: Each zoning (HC-3, HO-2, HR-3, HR-2) has its own standards, which are not addressed in these guidelines.
- Secondary buildings or structures should not dominate the primary building or structure.
- City Code requires that secondary dwelling units without kitchens have at least 50 percent less square footage than the main dwelling (UDC 6.6.3.D), and those with kitchens must be at least 25 percent less square footage than the main dwelling (UDC 4.9.7.B.3).
- Secondary dwelling units or structures built along minor avenues may have additional design requirements due to adjusted Development Zones. The prevailing setback should be observed.
- Massing, scale, materials, surfaces, details, and style should be compatible with and relate to the primary contributing property on the site and the Development Zone.

## SPECIAL ZONING PROVISIONS

INFILL INCENTIVE DISTRICT [Editor's note: This section may get some change in wording. Action: HPO]

Portions of the APHPZ may have additional overlay zoning standards. Generally, HPZ Design Guideline Standards prevail. The most notable overlay is the Infill Incentive District (IID) in that it has various standards that are applicable in different areas. The subdistricts that apply to portions of the HPZ are Downtown Core (DC), Rio Nuevo District (RND), and Greater Infill Incentive District (GIID). Each has different standards. The RND is mandatory within the code. Because all of them are contained within UDC 5.12, HPZ preservation standards prevail. No contributing or eligible contributing building or structure can be modified in any way that would render it ineligible.

Overlapping areas of both HPZ and IID overlay zoning occur in Armory Park: The currently revised UDC 5.12.6.E may allow for possible the possibility of a height and materials waivers for developable (largely vacant) parcels in this very limited area. Specifically, the height limitations of the HPZ Development Zone may be waived in certain cases, as long as any new construction is no higher than a defined height related to the tallest identified contributing structure in the overall HPZ. Specifically, the maximum

**Commented [EHB-(203)]:** Is this a section like "PORCHES" above? Should the formatting be consistent?

**Commented [TM204]:** They should be consistent in how they refer to other sections in the document.

**Commented [JTS205]:** Is this different from the UDC requirement of reviewing things visible from the public right-of-way?

**Commented [EHB-(206)]:** Is this in conflict with the public right of way review?

**Commented [JTS207]:** Feels like this could be reworded for clarity. Are they saying major (N/S) avenues, then (E/W) streets, then alleys... what about views from parks? I'm not sure that saying the "most visible" are the "most important" adds much.

**Commented [TM208]:** Need to deal with difference between "secondary" and "accessory."

**Commented [EHB-(209)]:** Accessory?

**Commented [JTS210]:** Again, I think this would require a redefined DZ by the zoning administrator.

**Commented [JTS211]:** Definition?

**Commented [EHB-(212)]:** Need to decide between "secondary" and "accessory"

**Commented [TM213]:** Avoid unnecessary use of initial caps and caps in general

**Commented [TM214]:** Always use a comma after i.e. or e.g.

**Commented [JTS215]:** Does this need defining? In large parts of the UDC if you face multiple public ROWs, you get to pick which is the "front". In AP, I think the hierarchy is clear and should be defined.

**Commented [JTS216]:** Why the "quotes". Compatible and differentiated is an absolute requirement of all new construction per SOIS.

**Commented [TM217]:** Note that "compatible to" is not a correct construction

**Commented [JTS218]:** What is this referring to? Do the historic rules change based on which historic zoning applies?

**Commented [JTS219]:** Needs definition? Lower height, lower massing, greater setback?

**Commented [JTS220]:** Restating of UDC rule that doesn't really seem like a AP HZ guideline.

**Commented [TM221]:** Yes please Jodie

**Commented [TM222]:** This is the first sentence of the paragraph. Formatting got wonky when I started editing it.

**Commented [TM223]:** Awkward usage

**Commented [TM224]:** PAGE NUMBERS OFF AFTER THIS PAGE. SOMETHING IS WRONG WITH FORMATTING. TEXT GOES TOO FAR DOWN THE PAGE.

building or structure height in the Armory Park HPZ is 48' as measured and determined by PDSD. This height includes all rooftop appurtenances, usually defined by the general UDC code within and under the maximum defined height. A materials exemption may also be considered on a case-by-case basis, to encourage better and more modern construction methods for large projects. However, all other standards of design review defined within UDC 5.8.9 must be met, including but not limited to proportion, scale, massing, rhythm, roof types, and projections and recessions, among others. This waiver does not apply to any project that develops using underlying zoning rather than IID standards for review. As with other matters, APHZAB will make a recommendation that will be considered by the other levels of the review process. Contact PDSD for details. For more information, refer to UDC 5.12.

## FLEXIBLE LOT DEVELOPMENT

Flexible Lot Development (FLD) was established in 2015 for all lots in the City of Tucson after lifting the minimum lot size restriction. It had previously only applied for parcels of 10 acres or more. It is now established as a "By Right" option for all parcels. The intention was to allow for reasonable infill development throughout the city.

However, it created the option for more intense development in the historic district than had ever been allowed before. Traditionally, in the APHPZ, each block face developed organically, and all buildings and structures were unique. There are a very limited number of historic properties that were developed on the same general plan, and in all cases individual characteristics were applied. This created a general development pattern of density and setbacks that are largely consistent in the neighborhood, and specific to each Development Zone. Avenue blocks usually have six major buildings/structures and street blocks usually have three major buildings/structures, on average, throughout the district.

- Multi-structure FLD developments should have different and unique design characteristics on each proposed building within the development, even if they share floor plans, and should be reviewed either individually or as a comprehensive development proposal with distinct units. Each primary street-front facade should relate to its individual Development Zone standards. Avenue-facing buildings should be compatible with avenue development standards, while each street-facing building should be compatible with street development standards. For example, a side wall facing an avenue where all contributing properties have a primary entrance and/or porch should relate to that standard. This means that general appearance, setbacks, and streetscape standards should be compatible with other properties facing the street. Because FLD projects are developed on a single parcel, but become individual parcels with shared amenities after construction, the final built environment should be considered in their review.
- All Development Zone standards apply for each building/structure including overall height, roof forms, massing, scale, materials, and design characteristics. Any proposed FLD project should enhance the integrity of the historic district rather than create an intrusion.

## MATERIALS AND DESIGN ELEMENTS

### ARCHITECTURAL DETAILS AND ORNAMENTATION

Maintain the original architectural details on your historic property. Even the simplest details contribute to its character. These elements should be evaluated for repair rather than replacement. For example, windows can be repaired using wood epoxy and/or by splicing ropes and repairing pulleys or by other means. If replacements are necessary, they should be done on an individual basis after determining that repair is not an option. Wholesale replacement, if not warranted, should not be contemplated. Consider the following:

- Duplicate the existing details found on your building or structure. If the existing details are missing or deteriorated, select details that can be documented as being used on your house. Checking the library at the Arizona Historical Society or at Special Collections at the University of Arizona Library may be useful to find early photographs of your house to learn what details were present historically. As a last resort, look at details on similar housing types and styles found in your Development Zone. When replacing details, the size, shape, dimensions, materials, and quantity of the replacements must be as

**Commented [JTS225]:** Interesting history in the first two paragraphs below, but not sure why it's in a HPZ guideline.

**Commented [JTS226]:** Should/shall. Is the AP HZ guideline that it must do this? If so, reword.

**Commented [EHB-(227)]:** "must"?

**Commented [JTS228]:** Should/shall... but this is already a requirement in the UDC, not specific to this HPZ or FLD.

**Commented [EHB-(229)]:** Are these the "minor avenues"?

**Commented [JTS230]:** Is this paragraph necessary?

**Commented [EHB-(231)]:** Agree with Jim. Imperative should be used throughout or not at all.

**Commented [JTS232]:** Feels like a new tone... doesn't match the voice of the previous sections of this document. Also, should there be some kind of introduction to this section?

**Commented [EHB-(233)]:** Wordy.

**Commented [JTS234]:** Very specific very quickly in this section.

**Commented [TM235]:** Review this sentence. It might need more work.

**Commented [JTS236]:** Reword? Seems like a tautology.

**Commented [JTS237]:** What? Seems to be advocating for creating a false sense of history... needs more context to make sense.

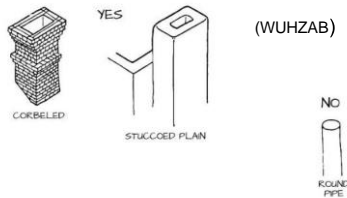
similar to the originals as possible. You may find useful details in the “Historic Preservation Online Resources” section near the end of this document.

- It may be helpful to locate substitute parts that may be available from salvage businesses and demolition contractors. However, salvage items should match the original element being replaced.
- Only apply architectural details that were present historically on your building. New elements that are conjectural, even if present on other contributing buildings, should not be added. If adequate evidence of historic details is not available, only apply architectural details that are in keeping with your house type and date of construction.

## CHIMNEYS AND VENTS

Existing chimneys should be preserved and maintained when possible. If repairs are required, consider the following:

- If repairs to an existing chimney are necessary, match the original materials, colors, and shape as closely as possible. Where brick is used, reference the “Masonry and Stucco” section of this document.
- Historic rooftop chimneys shall remain in place and not be removed even if not in use.
- If an existing chimney is beyond repair, a replacement should match the original materials, color, and shape as closely as possible.
- For new construction, chimneys should match the architectural style of the building and be compatible with chimneys of its type in your Development Zone.
- Spark arrestors should be low profile in a color that reduces visibility.
- Vents should be as unobtrusive as practical.
- Turbine ventilators should not be visible from the street.



## COLORS

While simply repainting a building in the HPZ a new color or colors is not subject to individual HPZ review, color can be considered within a larger required HPZ review of any structural modifications to a property or for new construction projects. UDC 5.8.9 stipulates that colors chosen within the HPZ on any building or structure should be appropriate to both the architectural style and historic period of any contributing property. You are encouraged to conduct a thorough color examination prior to painting. Consider the following when thinking of color or painting:

- Consider original or historic colors that were used on your building or structure.
- Historically unpainted features such as foundations, brick, rock walls, etc. should be left unpainted.
- When determining what is appropriate for the style and age of your building, look at related historic buildings that retain original or early color schemes for guidance.
- Evaluate the original color by analyzing paint scrapings.
- Does your preferred color scheme enhance the character-defining elements of your historic property?
- Drive or walk through the neighborhood and note the color combinations.
- Search for [photographic information](#) at the Arizona Historical Society or at Special Collections at the University of Arizona Library.
- Due to the exposure of paints to the climate over the years, it may be difficult to match historic colors.
- Selecting a building color that will blend with your neighborhood will have a positive impact on the entire block.

**Commented [TM238]:** Watch for instances of where the words are compressed like this. I can't figure out what the matter is.

**Commented [JTS239]:** That one looks fine to me, but I think I know what you're seeing because I've seen some funky formatting elsewhere in the document. Needs a thorough formatting review.

**Commented [TM240]:** What would they be looking for at these places?

**Commented [JTS241]:** Historic color photos? 😊

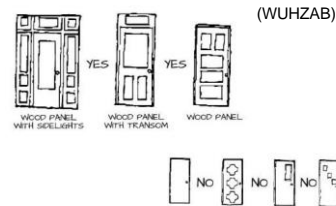
**Commented [EHB-(242)]:** Colors may change over time in AZ conditions.

- Prepping the surface should be done by the gentlest means possible.
- [When completing During](#) a minor design review, the color of your building may be discussed, and recommendations may be made.

## DOORS

Existing doors should be maintained and repaired as necessary. If modifications are required, consider the following:

- If replacement of a door is necessary, select a door that is as close as possible to the original. If the original door is gone, select a door type that is similar to other examples of contributing historic doors of the style and period of your building. Example: craftsman-style doors are inappropriate on a Victorian-style house.
- Wood panel doors are normally required, but alternative materials may be considered upon request.
- For new doors on contributing structures, door framing and inset should match existing door details.
- For new construction, doors should be installed in recessed framing.
- Louvered doors are not acceptable on entrances visible from the street.
- Sliding glass doors are not allowed on contributing historic buildings or structures. In new construction, they may be considered on a case-by-case basis if not visible from the public or street view.
- If replacing or adding a screen door, historically compatible wood screen doors are recommended.
- Security doors should be simple in design, and those appearing as historically compatible screen doors are preferred. Preferred screening material allows a view of the door.



## ENERGY AND UTILITY CONSIDERATIONS

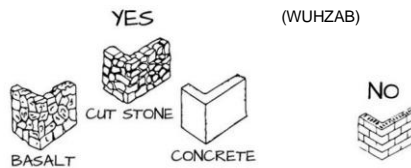
Energy measures that are seasonal and temporary do not require approval. When considering long-term energy-saving or -collecting strategies, refer to the guidelines below:

- When possible, place solar collector devices and supporting hardware so that they are not visible from the street. This includes devices that are installed on a roof or are separate from the building. Solar panels mounted flush with the roofline are recommended. Please refer to TSM 9-02.3.5.
- Reflective film/glass and colored glass are inappropriate; however, stained glass may be acceptable on some buildings.
- Locate electrical and gas meters, and major mechanical equipment such as condenser units on the back side of your building. Side yard ground installations should not be visible from the street and should be screened with plantings or metal or wood fencing in ways that minimize visual impacts on adjacent properties. Please refer to TSM 9-02.3.5.
- Locate rooftop coolers and equipment where they are not seen from the street. Do not place a screen around rooftop mechanical. Please refer to TSM 9-02.3.5.
- Do not place air-conditioning units or fixed fans in front windows.
- Note that most installations will benefit from having shade in the warmer months and that all utility installations will require proper ventilation.
- When more energy-efficient windows are desired, consider using storm windows.
- Appropriate canvas awnings can shade windows.

## FOUNDATIONS

Existing building foundations should be maintained and repaired if necessary. When making repairs, consider the following guidelines:

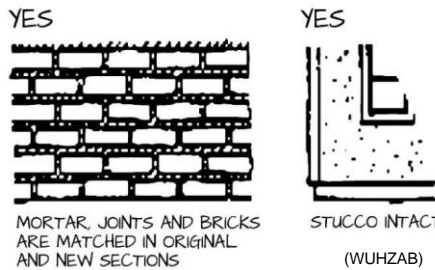
- Unpainted stone or concrete should remain so.
- Any required repairs are to be done in the same materials as those existing.
- When designing new buildings, refer to the guidelines below.
  - Erect new buildings for primary residences and commercial buildings on foundations that correspond to the raised height of those adjacent to the extent permissible by handicapped access requirements.
  - Do not use concrete masonry units (CMU) blocks unless they are stuccoed in a sand finish to differentiate the stem wall from the wall above.
  - Formed concrete foundation walls are acceptable for new construction.
  - Recess all mortar joints on stone foundations.



## MASONRY AND STUCCO

Masonry should be protected and preserved where possible. Use the following guidelines to maintain and repair masonry and stucco as required.

- If you are cleaning any masonry surfaces, use a gentle detergent. No type of media blasting is recommended, as it causes severe damage to brick and stone. It also accelerates erosion by allowing water to enter the pores.
- When re-pointing and joint striking the masonry on your building, be sure that the composition of the new mortar, as well as the color, the width, and tooling are similar to the original mortar. Attempt to identify the composition of the original mortar. The introduction of more than a small amount of Portland cement into the mortar may cause thermal expansion behavior that is different from the original lime-based mortar, which can cause cracking of the softer masonry.
- If it is necessary to replace brick, use bricks that match as closely as possible the color, composition, finish, and size of the original brick. Soft brick should be replaced with soft brick to ensure homogeneity. If you need replacement bricks, older bricks may be available from salvage businesses and demolition contractors.
- If considering application of water repellents, possible products should be carefully investigated. A proposed product should be applied to a small area of the brick in an inconspicuous location to determine the impacts on the brick. Some water repellents can darken the brick or leave a shiny finish, which is not appropriate. Any proposed repellent should be carefully evaluated to ensure that it allows the brick to breathe and will not trap damage-causing moisture.
- For any replacement of historic bricks, install new bricks in the original pattern.
- Brick size and color, mortar details, and banding patterns for additions to contributing buildings and structures should capture the character of, but not replicate, those on the historic portion of the historic property. Historic foundation heights are typically 18" or greater. For new construction, brick, mortar,



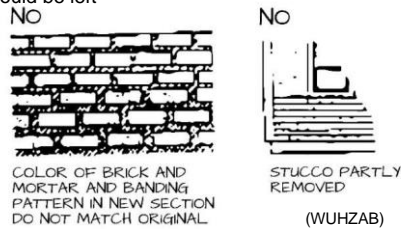
**Commented [JTS243]:** Should/shall.

**Commented [JTS244]:** Graphic covers this text when I look at the document... formatting issue.



and banding patterns should relate to patterns evident on contributing buildings and structures within the Development Zone and district.

- When concrete masonry units (CMUs) are used in new construction, including additions, they must be finished with stucco of an appropriate texture. If the historic house is stucco, the new addition should have a different stucco texture to allow for differentiation between the new and historic construction. Stone or brick veneer may also be acceptable to finish CMU surfaces.
- Traditional stucco and paint vs. integral colored stucco have different properties, which will cause differences in appearance.
- When materials are replaced, or additions are made to a historic property, wood and stucco surfaces should be painted, and masonry surfaces should be left their natural color (not painted).
- Originally exposed masonry surfaces should not be stuccoed, covered by veneers, or painted.
- Brick surfaces that were stuccoed should remain stuccoed. These bricks frequently are soft and will deteriorate if exposed.
- Decorative reveals of underlying brick by removal of stucco are not acceptable.
- The original stucco finish should be maintained and repaired. Cracking or damaged stucco should be repaired, as necessary, rather than wholesale replacement of all the stucco. Any repairs shall match the original stucco finish.
- For detailed recommendations for masonry and stucco, see National Park Service Preservation Briefs (<https://www.nps.gov/tps/how-to-preserve/briefs.htm>), Bulletins 1 and 2.

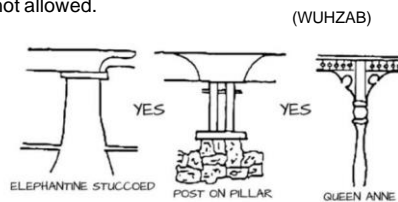


## PORCHES

Original porches should be maintained and repaired as necessary. If the porch needs to be modified or replaced, refer to the following guidelines.

- Enclosing of front porches on contributing buildings is not allowed.
- Consider opening an enclosed porch as you rehabilitate your building if it was not enclosed during the historic period.

- Rear and side porches can be important architectural features, especially for buildings that are located on corner lots, and should be preserved and maintained similar to front porches. In some situations, enclosure of side or rear porches may



be considered. If approval is given, the height and shape of the roof must be maintained. Match the materials and the placement and size of the openings with the main building as closely as possible.

- If repair or restoration is necessary, use as much of the original porch materials and ornamentation as possible. When repairing or restoring a porch maintain the size, shape, dimensions, and materials of the original.
- If replacements are necessary, duplicate the existing details or select details that can be documented as being used on your house. If you cannot identify the historic details of your house, a similar house of the same period may provide clues. When replacing the front or side porches, the size, shape, dimensions, and materials must be as similar to the originals as possible.
- Porches should be provided on new primary buildings constructed along street frontages and should be appropriate to the style and materials of the new construction. Refer to porch designs within your project's Development Zone. Steel may be considered on new construction if it closely resembles traditional materials.

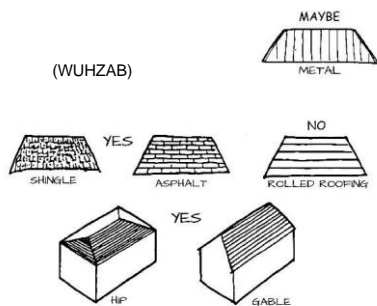
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- In restoration, repair, replacement, or new construction do not use wrought-iron columns and railings or steel pipe columns unless the latter are enclosed in a traditional wood or masonry exterior.

## ROOFS

Existing roofs should be maintained and repaired as necessary. If the roof does need to be replaced, consider the following:

- Select a material and a pattern that is historically appropriate to your style of house. If it is unclear what type of roofing material to use, look at the roofing on similar building types in the Development Zone. For example, an applicant may want to replace an existing roof that currently has wood shingles on skipped sheathing with a longer-lasting standing seam metal (SSM) roof on the house. However, just because there are examples of an SSM roof within your Development Zone, an SSM may not be appropriate for your style of house. Each house is unique, and the discussion with APHZAB will help identify appropriate styles of roofs for a particular style of house. Each request is handled on a case-by-case basis.
- White roofing treatments are not historic in character. Visible elements of any roof should not be white. Light gray may be appropriate in some instances. Flat roofing not visible from outside the property is exempt from this requirement, but must still be reviewed.
- Do not alter the roofline or roof pitch of your building.
- Maintain original roof details such as decorative wood brackets and soffit details, and exposed roof rafter tails.
- Maintain the original size and shape of dormers on the street sides. Any proposal for the introduction or alteration of existing or new dormers on the house will be considered on an individual basis.
- For buildings and structures fronting on the street, slate, tile, composite, synthetic, SSM roofing, or metal shingles will be considered, as will other sustainable materials that resemble existing roof materials. Corrugated metal is generally appropriate only for accessory structures. Alternative modern roofing materials should be similar in size, shape, texture, and color to existing materials on buildings in your project's Development Zone and will be reviewed on a case-by-case basis.
- Do not alter the profile of the roofline. Roof-mounted architectural features and mechanical equipment atypical of the historic period or style, such as solar panels, skylights, cooling and heating units, and satellite dishes, should be not be mounted on street-facing elevations and should be placed in locations that minimize visual impacts. Solar panels should be placed on the roof in a manner that does not alter the visible profile of the roofline.
- Skylights should be the least obtrusive that will achieve the desired result. Current acceptable options are flat glass and solar tube. They should be set back from the front facade and should not be located on a front-facing roof slope.



**Commented [TM246]:** APHZAB – fix the formatting here.

**Commented [TM247]:** Use American English spellings not British English.

**Commented [JTS248]:** How is this different from the bullet 4 items above ("Do not alter the roofline or pitch...")?

**Commented [JTS249]:** Should/shall... and should this be expanded to be clear about new construction as well?

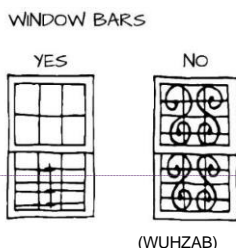
**Commented [JTS250]:** Some sage advice here... but is it appropriate for HPZ guidelines? Not sure.

**Commented [O251]:** I think that the term "should" gives the option of not doing something. Shall makes the rule imperative. So which is it when "should" is used in several instances in this document

## SECURITY CONSIDERATIONS

Before making alterations for security that affect the appearance of your building, consider the following security measures:

- Adequate exterior lighting for the front and back of your house.
- Strong locks for windows and doors.
- Security alarm systems.
- Trimmed trees and shrubs for visibility from the street.
- Reinforcing the back of the glass on your entrance door by installing break-resistant material.



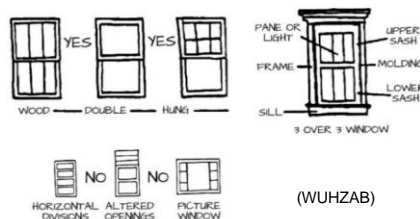
- Using a key-lock for wood double-hung windows in non-sleeping rooms.
- If you must make alterations to the appearance of your building for security, follow the guidelines below.
  - Window bars may not dominate the appearance of a building. Window bars of simple design that match the orientations of the frame, or the dividing elements between the panes, are most compatible.
  - Security bars on masonry should be attached through the mortar joints rather than the brick.
  - Security doors should be simple in design, and those appearing as classic screen doors are preferred.

## WINDOWS

Existing windows should be preserved and repaired as necessary. See SOIS Preservation Briefs concerning wood and steel windows at <https://www.nps.gov/tps/how-to-preserve/briefs.htm>.

Consider the following:

- Maintain the original size and shape of your windows, including the widths and profiles of mullions and muntins, rails and stiles, and the original number of panes (lights). Maintain the wood trim that frames the window openings.
- Maintain original art or stained glass. Requests to install art or stained glass are considered on a case-by-case basis. Such glass is not appropriate to many Armory Park houses, especially the smaller house types.
- Cloth awnings were used historically over windows in the AHPZ and can be used today as an energy-saving device.
- It may be that only select windows need to be replaced while others can be repaired.
- For replacement windows in contributing buildings, closely replicate the originals while maintaining the original openings and recesses.
- For new construction, refer to these guidelines:
  - Give window openings vertical emphasis. The most common windows historically have been one over one (single pane top and bottom), wood frame, double-hung windows recessed in wall surfaces. Wood or steel casement windows may be appropriate in a few cases. New construction should follow the window styles found in the project's Development Zone.
  - New windows should be recessed rather than flush.
  - Aluminum and vinyl window frames are not allowed. Current clad windows closely resembling historic wood windows may be considered. Be prepared to present detailed product information.
  - Windows and screen frames must be flush with the brick mold. Screening material should allow visibility of the window. Aluminum screen frames are not desirable on front facing windows.
  - Stone or concrete lintels and sills are appropriate to certain architectural styles.
  - Picture windows are not appropriate.
  - Horizontal sliding windows are not appropriate on historic facades.
  - All permanent glazing material to be glass.
  - Glass block was not used in most Armory Park historic buildings and structures and is not appropriate.
  - Reflected film or glass or large panels of colored glass are inappropriate for most windows. However, small decorative panels of colored glass within a complex window form, or stained



**Commented [JTS252]:** Is this to signify that this is a change in the guidelines? I think the sentence might be clearer without "current".

**Commented [JTS253]:** Do they want to mention what they're looking for in particular? Sash size, proportions...?

**Commented [EHB-(254)]:** How was this presented in the WU guidelines?

**Commented [TM255]:** Should this be "molding"?

**Commented [JTS256]:** Not appropriate = not allowed? Probably could be reworded for clarity.

**Commented [JTS257]:** Allowed?

**Commented [EHB-(258)]:** Must, or shall be

**Commented [JTS259]:** Allowed?

**Commented [EHB-(260)]:** I agree with Jim – what weight does "appropriate" carry?

**Commented [JTS261]:** Not allowed?

glass windows may be acceptable on specific buildings.



## INSTITUTIONAL AND COMMERCIAL BUILDINGS

Contributing Institutional and Commercial Buildings within the AHPZ are generally located in the area along South Stone and South Sixth Avenues. Individual buildings within residential blocks are also scattered throughout the district. Generally, very few blocks of the district are exclusively institutional or commercial, and residential buildings are regularly interspersed with them. All contributing properties in the HPZ were built before zoning codes were established in 1948. In the 1960s, new zoning overlays that created specific use standards were implemented. Commercial uses became limited exclusively to the western section, defined by Arizona Avenue. Some northern sections were rezoned as office/supportive business, although most buildings in both areas are residential in design. Over time, the use of many buildings has changed. All buildings within the district are considered within their historic context and should retain the historic appearance for which they were intended.

### ALTERATIONS, ADDITIONS, AND CONSTRUCTION

Any proposed exterior alterations and additions for institutional and commercial buildings must be reviewed. The design guidelines are the same for all buildings within the district, except that commercial and institutional buildings must be compatible with other contributing commercial and institutional buildings (rather than residential buildings) within the district. Because of their limited number and placement, other similar contributing examples may be used that are within the district, but not the specific Development Zone for guidance. Also, see **DEVELOPMENT ZONE** (above) for further guidance.

Underlying zoning determines possible uses for any building. Residential use is allowed in all areas and zones within the district. Historic use is encouraged and recommended in most cases. Blocks of exclusively residential structures should remain residential blocks. For their continuing preservation, some formerly institutional and commercial buildings may benefit from adaptive reuse as mixed commercial/residential uses become more economically viable. Each building is unique within its specific context.

### SPECIAL CONSIDERATIONS

Residential buildings put to commercial uses: uses permitted in the underlying zoning and reasonably accommodated within existing structures without altering the historic nature and significance of the building may be appropriate and considered on individual properties. Any alterations, additions or construction must be compatible with the residential characteristics of the building. No alteration will be considered that can make the property ineligible for its continued historic designation.

Resident Artisan and secondary use: Refer to the standards listed in UDC 5.8.7B. The status only applies to the specific applicant and is nontransferable. No external modifications to the historic structure are permissible.

### COMMERCIAL AND INSTITUTIONAL BUILDING PARKING

If you want to use your property for nonresidential purposes, you need to identify what the parking requirements will be and how your site can accommodate them. Consult the City's PDSD and the UDC for zoning requirements. Designs for your project or requests for a special-use permit will be considered only after you have a prepared a parking plan. Follow these guidelines in designing parking for your business or institution:

- Parking Standards and requirements in the HPZ are subject to the standards in UDC 7.4 and TSM 9-02.6. However, parking requirements can be waived if the exception standards in UDC 7.4.5 apply. Exemptions may be made to ensure the maintenance of historic buildings and structures (UDC 7.4.5.D, Change of Use). Multifamily dwellings and commercial uses may require further review and standards for consideration. Consult PDSD.
- Place parking where it will have minimal visual impact on the area. Parking to the rear is encouraged. Parking areas cannot be placed in front yards.

**Commented [TM262]:** Never use apostrophes in dates like this.

**Commented [JTS263]:** I don't think this is true. Any building needs to be compatible with the other buildings in the DZ (not district).

**Commented [EHB-(264)]:** This could be clarified by breaking it into two sentences.

**Commented [JTS265]:** Again, I don't think this is true. Would need to apply to zoning examiner for a modified DZ.

**Commented [JTS266]:** How does this compare to "residential use" in the previous sentence? I'm not sure.

**Commented [JTS267]:** What is this trying to get at... is it a HPZ Guideline to try to over-ride "use" in zoning law? Confusing to me.

**Commented [JTS268]:** Is there a word missing in this sentence?

**Commented [EHB-(269)]:** The intent is unclear.

**Commented [EHB-(270)]:** This is confusing.

**Commented [JTS271]:** Contributor status?

**Commented [JTS272]:** This makes it seem like a Resident Artisan can't do the normal things that any property owner can do. I don't think that's true.

**Commented [EHB-(273)]:** This is unclear.

**Commented [EHB-(274)]:** There is a stylistic change here in the form of address – "you" - less formal than previous sentences.

**Commented [O275R274]:** I agree. The general tone of this document would not use the term "you" in these instances.

**Commented [JM276]:** concur

**Commented [EHB-(277)]:** "the following"

**Commented [EHB-(278)]:** Public right of way?

- Screen parking areas that are visible from the street. Vegetation is not generally considered an appropriate solution to code-required screening. Screening elements cannot obscure historic street facades.
- Do not interrupt the pattern of street trees.
- Newly constructed commercial buildings and structures must also comply with Code requirements not reviewed by [APHZAB](#).
- Streetscape standards of the Development Zone determine setbacks and other guideline standards.
- Vehicular parking must not be visible from the street. Older (nonscreened) surface parking must meet current screening requirements if modified in any way, including paving. Mesh screening that only partially obscures vehicle parking is not allowed. (UDC Section 7, Development Standards, 7.4 & 7.6)
- Parallel parking is a historic streetscape feature. The addition of diagonal parking or parking meters must be reviewed. Some examples of side-lot parking on residential parcels do historically exist. A number of properties on larger lots did develop driveways with rear, unattached garages, and these historically featured street-front curb cuts. Historic side driveways should be retained. Development Zone standards apply.
- No onsite parking may obscure the historic street-facing facade of a contributing property. In general, place parking areas to the rear (or side) of the property. New street front driveways and side parking will only be considered on parcels that have no rear access.
- Generally, avoid [major principal-avenue access to parking](#). Streets and minor avenues should be considered first as they are typically the historic locations for access. Development Zone standards apply.
- Structured Parking. [No structured parking exists within the HPZ](#). New structured parking cannot be visible from the street, except for entrance/exit openings facing commercially zoned roadways (especially S. 6th and Stone Avenues). No structured parking entrance/exit may face residential buildings or have direct access onto residential streets. Parking structures, including underground levels, should have facades compatible with adjacent properties on all street faces. Open screened parking is not allowed. Light, noise, and exhaust must be managed to not impact the historic district.
- For new commercial uses, code requirements prevail. Also, follow the preceding guidelines in designing parking for your business or institution:

**Commented [TM279]:** Jodie, read sentence and see if it makes sense to you.

**Commented [JB280R279]:** This should probably be expanded to include references on when this happens....IID.

**Commented [JTS281]:** Is this defined? If so, it could be used in other places (replacing "front of building").

**Commented [EHB-(282):** Access to parking from principal avenues

**Commented [JTS283]:** Is this still true? The new dual-branded hotel on Stone has a parking garage.

**Commented [EHB-(284):** Structured parking did not exist during the period of significance and should be avoided.

## RESIDENTIAL BUILDINGS ADAPTED FOR COMMERCIAL USE

[Currently, there are buildings that were built](#) [Some buildings constructed](#) as residences [but](#) now are used for commercial or mixed commercial and residential purposes. Sometimes a change of use or an added use to an existing building is acceptable. Uses permitted in the underlying zoning and reasonably accommodated within existing buildings or structures, without altering the historic nature and significance of the property, may be appropriate and considered on individual properties. Any alterations, additions, or construction must be compatible with the residential characteristics of the building. No alteration will be considered that can make the property ineligible for its continued historic designation.

- [If you have](#) a business in a residential building, maintain its residential character. The design guidelines for existing residential buildings also apply to residential buildings that are used for commercial activities.
- Commercial zoning only is applicable along Stone Avenue and portions of S. 6th Avenue and only if there is commercial use of [characteristically](#) residential architecture allowed. The historic character of such buildings must be maintained on the exterior of the building, and all historic codes apply for any alterations.
- Office zoning allows for some office use in formerly residential buildings, but the exterior characteristics of residential architecture must be maintained.

**Commented [O285]:** Here is that "you" again. Might use "I" if there is a businesses in a residential building....

**Commented [TM286]:** Not sure this is the correct word. Jodie?

**Commented [JB287R286]:** Might want to rethink this word. It is awkward.

- The relationship of IIDs and an HPZ is evolving, so APHZAB will need to apply its judgment to relevant reviews.
- Resident Artisan and secondary use: Refer to the standards listed in UDC 5.8.7B. The status only applies to the specific applicant and is nontransferable. No external modifications to the historic building or structure are permissible
- Adhere to the design guidelines for signage.

## SIGNS

APHZAB must review signs using the following:

- Signs are regulated by the UDC 7A and 5.8.9. In HPZs, signs allowed in the underlying land use zone are further limited by UDC 5.8.7.B, 5.8.C.1.c, 5.8.9.M and other use standards (e.g., resident artisans) and further clarified by TSM 9-02.5. All signs must be reviewed by PDSD and any other applicable review authorities. Historic Landmark Signs must meet code requirements for any alterations.
- Maintain historic signage in place. Historic signage on the sides of buildings or ghost signs are to be preserved.
- Generally, business signs are limited to one sign only for each street frontage per premises. Businesses having frontage on more than two streets are allowed a total of three signs. Businesses are limited to one freestanding sign per premises.
- Keep the design, lettering, shapes, and content of signs simple and straightforward.
- Do not hide the features of your building or alter irreversibly its structural integrity. Generally, signs for businesses that are located on residential properties should be smaller than those for buildings that were built for commercial purposes. The maximum allowed area of a sign is eight square feet. Small plaques indicating historic status must conform to the code. Resident artisan and secondary use signs are limited to 1 ½ square feet.
- The colors of your sign should complement the colors of your structure.
- Signs attached to masonry buildings should be attached through the mortar joints rather than the brick.
- Indirect lighting and gooseneck lighting of signs without integral lighting is encouraged, provided that light sources are shielded to protect adjacent properties. Visible bulbs must not exceed 20 watts per incandescent bulb or 200 lumens for an LED bulb. Small neon and internally lighted signs will be considered for commercial buildings only. Do not use neon and internally lighted signs for residential buildings that are now used for commercial purposes.
- Carefully consider the placement of signs. The most appropriate placement will depend upon your building. Signs must not extend above the top of the nearest facade, eaves, or fire wall of a building or structure. Refer to UDC Section 7A, Sign Standards, specifically 7A.11.1, Historic District.
  - The following are sign types that may be considered for commercial buildings:
    - Signs can be painted on a band above windows on stuccoed commercial buildings.
    - Painted window signs can be used.
    - Narrow and flat signs can be hung from stationary canopies.
    - Flat signs can be attached to building fronts. These should be flush-mounted.
    - Projecting signs that are limited in size can be attached to building fronts.
  - The following are sign types that will be considered for residential buildings put to commercial use.
    - Signs that are attached to the building should be small identification panels at entrances.
    - In some cases, signs hung from a porch will be considered. Signs can be painted on clear material that is hung between two porch posts.

**Commented [JTS288]:** Already stated above, and seems misleading.

**Commented [EHB-(289)]:** This section needs to include definitions for the different types of signs – landmark sign, ghost sign . . .

**Commented [TM290]:** Why does “resident artisan” have initial caps elsewhere in the document?

**Commented [JTS291]:** Heritage Legacy Signs? Need to make sure this is updated to the new language.

**Commented [JTS292]:** Definition? I think I understand and like the idea, but think it needs to be clearer.

**Commented [JTS293]:** Summarizing sign code seems like a dangerous thing to do in a HPZ guideline... bloat, synching, ambiguity.

**Commented [JTS294]:** Hmmm... not sure this is good advice, let alone a good guideline. “Compatible” might be the word to use here – a lawyer in a Sonoran building shouldn’t have the same sign style as a B&B in a Queen Ann.

**Commented [EHB-(295)]:** This needs definition.

**Commented [EHB-(296)]:** I assume this is linked to sign installation? It’s not clear.

**Commented [JTS297]:** Is this true? I thought there were exceptions.

**Commented [TM298]:** See above

**Commented [JTS299]:** “be compatible with”?

**Commented [EHB-(300)]:** This should be linked to the bullet about “structural integrity.”

## LANDSCAPE AND STREETSCAPE

The Armory Park HPZ historic streetscapes include the following character-defining features: historic streetscape features (retaining walls, front fences, and curb walls), side and back yard street-facing fences and walls, mail boxes, space between property line and the sidewalk, sidewalks, driveways, space between the sidewalk and curb, street lights, street trees, utilities, street signage, and curbs; views and vistas; spatial organization; circulation; and natural topography and grading. There are three types of parties responsible for historic landscape and streetscape features: Property owners, utility companies, and governmental entities. The principal government entity regulating all right of way (ROW) areas is the Tucson Department of Transportation (TDOT) and must be compliant with Tucson City Code, Chapter 25. Contact TDOT for details. PDSD determines landscape review requirements on individual parcels.

**Commented [TM301]:** WHO must be compliant with code? The resident, property owner, TDOT? Rewrite sentence.

### RETAINING WALLS

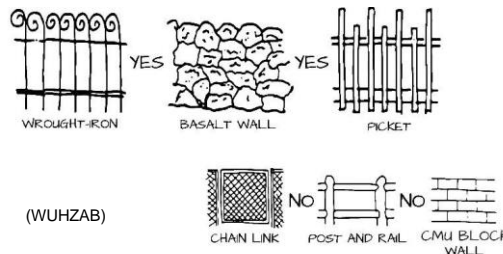
In some parts of the district, retaining walls were required to accommodate topographic changes resulting from the grading of streets. They are contributing features, often built before the lots were developed, and must be retained and preserved:

- Maintain stone, masonry, and poured concrete retaining walls.
- Situate additional fencing behind the retaining wall.
- Unpainted stone or concrete should remain so.
- Any required repairs are to be done in the same materials as those existing.

### FRONT FENCES

Front fences of wood, wrought-iron, and looping wire were common streetscape features historically. Some metal fencing remains, but wooden fencing usually deteriorated and was replaced or removed. In the case of minor avenues (named alleys), the streetscape may feature a combination of front, side, and rear fencing. Front-yard fencing is reviewed more stringently than side or rear fencing.

- Maintain contributing wood picket or metal fencing.
- Front yard fences must not block the view of the house.
- Front fence heights should be appropriate to the scale and style of the house and streetscape.
- Front fencing is traditionally up to 4' tall, but if constructed of wrought iron or tubular steel, may be up to 5' in height. When the fence is in conjunction with a retaining wall, height is measured from the higher ground level.
- Fences, fence posts, and gates should have a regular, simple, decorative pattern that is visible from the street side.
- Tubular and solid steel fencing should have decorative historically compatible types of picket tops or caps that are evident in the district and also relate to the style and age of your house.
- Chain-link, corrugated or other sheet metals, unpainted redwood, rough cedar, stockade, post and rail, gabion structures, or solid walls are not acceptable as front fencing.



**Commented [TM302]:** Jodie, should this say Development Zone instead of "district"?

**Commented [JB303R302]:** This is used throughout the district.

**Commented [TM304]:** Should this be defined?

**Commented [EHB-(305):** "gabion" should go in the Glossary – it's a pretty common term, though.

### FREE-STANDING FRONT WALLS

Historic photos show that free-standing front walls over one foot tall were not a common streetscape element. Low curb walls, often of poured concrete, were common.

- Newly constructed free-standing front walls cannot obstruct the view of the building.



- Curb walls up to 2'-6" tall are permitted in conjunction with fencing.

#### SIDE- AND BACKYARD STREET-FACING FENCES

The minor named avenues have a streetscape that includes both front and back yards.

- Fences in front of buildings and structures must conform to front fence guidelines.
- Side fencing from the extended front facade plane of a principal building to the front property line shall use front fencing standards for height and transparency to ensure streetscape integrity.
- Side- and backyard fencing may be taller for security reasons. Fences at the sides and rear yards may be up to 6' tall and solid.
- Appropriate fence materials for side and rear yards include tubular steel and wrought iron, vertical wood picket, and corrugated/sheet metal. Other materials may be considered.
- Modern standing-seam metal with wider corrugations and gabion structures are not allowed.

**Commented [TM306]:** Merriam-Webster has backyard as one word.

**Commented [JTS307]:** Is this correct in all cases? Seems like it could block the view of a contributor along an alley.

**Commented [JTS308]:** Define?

#### SIDE- AND BACKYARD STREET-FACING WALLS

- The material and form must be compatible with the style of the house and Development Zone.
- Acceptable wall materials for side and rear yards include stucco over masonry, exposed brick, and stone.
- Gabion construction is not allowed.
- CMU construction is to be stuccoed with a medium or fine sand texture and either painted or colored with integral stucco color.
- Side- and backyard walls traditionally do not exceed 5', but may be up to 6' in height if consistent with the Development Zone.
- The Building Code maximum of 7' will not normally be approved but may be considered for special situations. The Zoning Code remains at 6' maximum.

**Commented [JTS309]:** This is confusing... is this just a summary of various codes? Is this a HPZ guideline? The previous bullet says 6' max.

**Commented [EHB-(310):**

**Commented [EHB-(311R310):** Agree with Jim. Seems to open an argument.

#### MAILBOXES

Some U.S. Postal Service collection boxes remain in the neighborhood. In the 1990s, when modern group mailboxes were being installed to replace the unused historic collection boxes, the neighborhood worked with the State Historic Preservation Office and the U.S. Postal Service to modify the old collection boxes to serve as group mailboxes.

- Maintain historic collection boxes.
- Individual mailboxes are to be on the property. Those at the property line are to be reviewed.
- Modern group mailboxes are to be located on the property and screened from the front streetscape view.

#### DRIVEWAYS

Maintain historic driveways whenever possible. New driveways or modifications to existing driveways must be reviewed. New or expanded driveways on streets or major avenues are discouraged. Proposals will be evaluated for width, apron material, etc.

#### VEGETATION

Trees were often planted in the front yards and in the planting strip between the curb and sidewalk, which also serve to shade the house and the sidewalk. Foundation plantings were typical.

- Maintain vegetation such as street trees, front yard trees, and foundation plantings unless there is a compelling reason for removal. [TDOT has agreed to notify the City of Tucson Historic Preservation Officer on all removals of trees within the boundaries of the HPZ.]
- Replacement of trees in poor condition or creating a hazard is encouraged.
- Plantings for residential properties are not generally not reviewed by APHZAB except for reviews of new principal buildings. TDOT is responsible for reviewing all right-of-way plantings.
- Selection of plantings, particularly trees, should be done to eliminate the potential for sidewalk buckle. ("Right tree, right location") Again, consult TDOT.
- [Vegetation is not generally considered an appropriate solution for code-required screening.]

#### RAINWATER HARVESTING

- Metal (aluminum, steel, copper) gutters are allowed on all sides of the roof except the street frontage. Exposed rafter ends and associated elements should not be modified or cut to accommodate a gutter.
- If seamless, painted aluminum gutters are used, they must match the roof trim color as closely as possible. Vinyl gutters are not allowed.
- Storage for rainfall must be located on non-street-facing elevations and may not block views of architectural features.
- Passive storm-water harvesting at the street must respect all historic elements. Curb cuts are not allowed unless they are part of a TDOT project.

#### SIDEWALK TO PROPERTY LINE

Maintain the space between the property line and the sidewalk. Do not place fencing or walls in this area. Do not pave if previously unpaved.

#### SIDEWALKS

- Maintain sidewalks in place.
- Do not cut through the continuous sidewalk with an entrance walkway.
- TDOT is responsible for managing major sidewalk repairs or replacement.
- If replacement is required, replace with the same control joint score pattern. Keep historic contractor's stamps in place whenever possible.
- Repairs or replacements must comply with ADA standards and Chapter 25.

#### PLANTING STRIP BETWEEN THE SIDEWALK AND THE CURB

- The space between the sidewalk and the curb is to be preserved.
- Paving in this area is not appropriate except for walkways onto the property.
- Keep the grade of this area relatively flat with a minor depression from the sidewalk.
- Appropriate planting in this area includes street trees (per TDOT's Landscape Architect recommendation), low shrubs, groundcover, perennials, and annuals.
- Planting here is the responsibility of the adjacent owner and must follow Chapter 25 guidelines for sight visibility and area requirements for trees.
- Groundcover, perennials, and annuals over 2' tall are discouraged.

**Commented [JTS312]:** Interesting, but is this a guideline?

**Commented [EHB-(313)]:** Perhaps restate: TDOT will notify COT HPO on plans to remove any tree within the boundaries of the HPZ. The goal is simply to discourage the random removal of trees.

**Commented [O314R313]:** Helen, I like your statement of what the goal is here.

**Commented [JTS315]:** Seems vague. I thought it was not ever considered an appropriate screening material.

**Commented [EHB-(316)]:** Remove "generally"

**Commented [EHB-(317)]:** Agree with Jim – needs clarification.

**Commented [JTS318]:** "Front" or all sides that face a public ROW? AP has lots with 3 street frontages.

**Commented [TM319]:** Chapter 25 of what? Tucson code or ?

**Commented [TM320]:** Again Chapter 25 of what?

STREETLIGHTS

Two-globe streetlights were installed with the historic streetcar improvements along 4th Avenue and Stone Avenue. Poles have three different heights, with taller poles supporting trolley wires. Historic fixtures are often painted black below and silver above. In 1979, the Armory Park Neighborhood received a grant for the rehabilitation of the historic 4th Avenue streetlights and for the addition of two-globe, replica fixtures. Proposed modifications to fixtures or additional fixtures must be reviewed.

- Historic and replica streetlights are to be maintained in place.
- New fixtures are to be compatible with historic fixtures in style, height, proportions, light quality, and spacing.
- Additional fixtures are not to block property driveway access.

#### UTILITIES

- Maintain historically appropriate utility features such as fire hydrants and power poles.
- New utility features that impact the historic streetscape are to be reviewed.
- New utility features should be designed and placed to have minimal impact on the historic streetscape character. Place utility features such as transformer boxes and backflow preventers on the property and screened whenever possible.
- Maintain street trees and placement.
- Ideally, new utility installations, including pole structures, should be placed adjacent to lot lines and not directly in front of historic structures.
- Do not modify, remove, or replace historic or replica historic light poles/fixtures.

**Commented [TM321]:** Does this belong under utilities?

**Commented [EHB-(322)]:** Does this mean consider placement of utilities with regard to rhythm of street trees?

**Commented [TM323]:** Here and elsewhere the font seems to be condensed. This should be checked throughout by AP.

#### STREET SIGNAGE

Historic street-name signage was cast aluminum with black-painted fields. Several remain, although the City of Tucson replaced a number of them with green-and-white signs that are being used citywide.

- Historic street-name signage should be preserved in place.
- Any additional street signage should consider the historic character of the street.
- Modifications or additions will be subject to staff consultation with the responsible agency.

**Commented [TM324]:** State the “responsible agency”

#### CURBS

Many of the curbs have contractor stamps and dates and have poured-in-place block number and street signage.

- Maintain historic curbing, especially sections with poured-in-place block number and street name.
- Modifications will be subject to staff consultation with the responsible agency.

**Commented [TM325]:** See above comment.

#### PARKING

Prior to 1945, there was parallel parking on both sides of the major streets and avenues. Modifications must be reviewed and changes to the parking configuration of the streetscape such as the addition of diagonal parking or parking meters is discouraged. TDOT/Park Tucson makes decisions about parking as needed to serve the community at large. When modifications are contemplated to something other than parallel parking, or if parking meters are being considered, TDOT may consult with APHZAB as a stakeholder.

**Commented [JM326]:** concur

**Commented [EHB-(327)]:** “will”?

## STREETS

The street layout of the AHPZ is consistent with the 1945 period of significance, with minor exceptions. The northwest portion of the district retains the narrower named streets that date from Tucson's Mexican period. Modifications must be reviewed, and modifications to the historic street layout, width, and configuration are discouraged.

## VIEWS AND VISTAS

APHZAB is not empowered to demand the following, but compliance is strongly encouraged:

- Development within or adjacent to the district should not impede vistas of the mountains, especially Sentinel Peak and Tumamoc Hill.
- Views to open spaces such as Armory Park, the Carnegie Block, and Santa Rita Park space should not be obstructed.

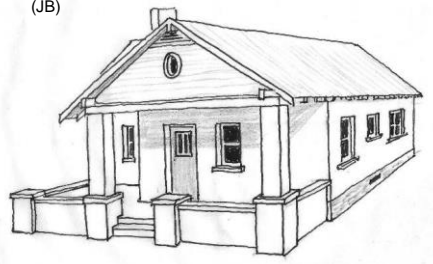
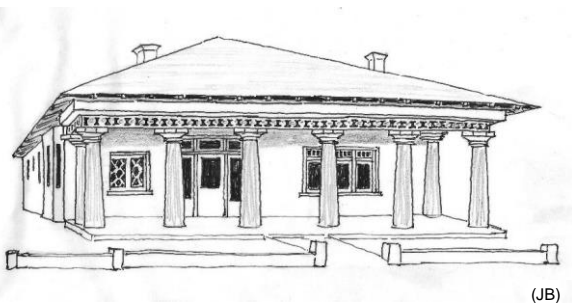
## DESIGNED LANDSCAPES

Modifications to all designed historic landscapes in the Armory Park Historic Residential District including the Armory Park and the Carnegie (Children's Museum) block must be reviewed.



**Commented [TM328]:** Jodie: clarify that they are saying that they should review designed historic landscapes in the NR district.

**Commented [JB329R328]:** Really they only have review over the HPZ unless a project is IID or similar.



## TERMS OF REFERENCE

**ALTERATIONS** - Some exterior and interior alterations to a historic building are generally needed as part of a rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include changes to the site or setting, such as the selective removal of buildings or other features of the building site or setting that are intrusive, not character defining, or outside the building's period of significance.

**APHZAB** is the abbreviation for the Armory Park Historic Zone Advisory Board, the City board responsible for first level review and recommendation regarding proposed projects in the APHPZ.

**BUILDINGS** vs. **STRUCTURES** - National standards and guidelines for historic preservation distinguish between buildings (constructions principally to shelter human activities such as a residence, guest house, secondary residence, sleeping quarters, and studios) and structures (constructions for purposes other than human shelter such as garages and carports). Tucson Code distinguishes between the primary structure [incorrect usage in the code, as it should be primary building or residence] and accessory structures. All of the structures enumerated above might be accessory structures.

### CATEGORIES OF DISTINCTION within the APHPZ.

- **Historic Landmark** - Historic buildings or structures of individual significance for architectural merit, historic personages or events associated with them, unique significance, outstanding examples of individual designs associated with a noted architect or importance in history of development. Note: may or may not adhere to requirements of the HPZ or HD in which it is located.
- **Contributing Historic** - Historic buildings or structures that meet the criteria for inclusion and eligibility within the parameters of the inclusive HPZ including age. Note: only category that defines compatibility and precedence in review of new development.
- **Contributing Non-Historic** - Those buildings that meet all eligibility standards of the HPZ, except for age and period of significance. Note: these buildings are most likely to have been added to the district between 1945 and 1965 and would now be eligible for consideration based on age if the period of significance were to be extended in future. Some of these buildings may also be eligible for individual landmark status in the future.
- **Noncontributing** - All buildings constructed in the district since 1945 that may or may not be compatible. Also, all historic buildings that could be eligible for reconsideration of their significance if restored to their original design features as during the period of significance.
- **Intrusion** - All buildings/structures that neither meet any eligibility of significance requirements and do not support the historic context or fabric of the HPZ standards.

**COMPATIBILITY** is the visual consistency of development by mirroring prevailing dimensions, spatial relationships, and architectural and design characteristics of the neighborhood overall and the contributing properties within the Development Zone. Compatibility is achieved when a development is designed in a manner that blends in with the character of structures in the Development Zone. Compatibility is the harmonious, sympathetic, and complementary visual relationship of alterations, additions, or new construction to the characters of historic buildings and structures (contributing properties) in the setting of the new work and is evaluated in terms of height, massing, scale, setback, rhythm, materials, roof form, and architectural features.

Accessory structures must be compatible with the primary structure but also with other accessory structures in the Development Zone.

The term "compatible" does not mean "replication," "repetition or copy of," or "identical to" existing buildings or structures within the neighborhood. New work must be visually differentiated from the old to avoid creating a false sense of history and diluting the integrity and value of historic buildings and structures in the setting.

**Commented [O330]:** I would like to see an index for initialisms. They are used so often in this document that if the reader is not familiar with them, it would be nice to have a ready-reference.

**Commented [JTS331]:** Glossary? Definitions?

**Commented [EHB-(332):** The glossary needs to be restructured as an alphabetical sequence of terms rather than an appendix. If further discussion of categories is needed, perhaps that should go in the text (even as a footnote) or into a separate appendix.

There are also a lot of other definitions and/or abbreviations that would be usefully included here, such as major (main) avenues and minor avenues; terms like massing, scale, rhythm; period of significance; SHPO and other abbreviations . . .

**Commented [TM333]:** This section is problematic.

**Commented [JM334]:** Concur with Helen. Unless secondary has specific meaning, perhaps it should not be used?

**Commented [EHB-(335):** There is confusion in the document as a whole about "accessory" and "secondary" structures.

**Commented [JTS336]:** There are used above but not called this. Page 5 "important to know".

**Commented [JTS337]:** Are these unique to AP or cribbed from somewhere else? Seems confusing to me. "Landmark" & "Contributor" have meaning to me (and UDC). Seems like everything else might be all else are "Non-Contributor" I think.

**Commented [EHB-(338):** Agree with Jim – Categories of Distinction isn't a common term and probably shouldn't be placed in a glossary.

**Commented [TM339]:** Are they referring to a National Register district here?

**Commented [EHB-(340):** This potentially creates confusion between an NHL and a COT Landmark – the National Register Program and the National Historic Landmark . . .

**Commented [JTS341]:** Are these really "contributing" if they're outside the POS?

**Commented [TM342]:** Explain this. As written is confusing.

**Commented [JTS343]:** "Compatibility is a subjective judgement based on..." might be a good start to this. Personally I'm not sure I'd try to define it any more than it is defined in the UDC. Certainly not 5 paragraphs worth of trying.

**Commented [JM344]:** concur. points are made elsewhere.

**Commented [JTS345]:** Oooh... don't like that word here.



Setting is considered at multiple scales. For alterations and additions, evaluation of the setting is primarily at the scale of the existing building and secondarily at the scale of that property's specific Development Zone (approximating the immediate view shed). For new construction, evaluation of the setting is primarily at the scale of the Development Zone and secondarily at the scale of the entire HPZ and Armory Park Historic Residential District.

Alterations and additions that are compatible and allow historic properties to adapt to new needs are favored. New construction should be compatible with historic buildings and structures in its setting but should also be of its own time and mark the continued development of the historic district.

*CONTINUANCE* is an applicant requested postponement of a Board recommendation during a design review to provide time to incorporate feedback into a revised design.

*CONTRIBUTING PROPERTY* - Properties that are deemed "contributing" properties to the Armory Park Historic Residential District are considered designated historic properties. They are also eligible for the State Historic Property Tax Reclassification (SPT) for owner-occupied homes. Properties within historic districts that are shown as Contributing are listed in the National Register of Historic Places. It should be noted that the original building is contributing but new additions and modifications, while sympathetic and approved, are not contributing elements and cannot be used as precedent. The City of Tucson categorizes properties by parcel and address in TSM 9-02.8.3. (From the City of Tucson UDC)

*DESIGN REVIEW PROCESS* involves neighborhood HPZ Advisory Boards (for example, APHZAB), the Plans Review Subcommittee of the Tucson-Pima County Historical Commission, city staff, and the Director of the Planning and Development Services Department. Appeals and proposed demolitions of historic buildings within these zones require additional reviews and approvals by the Mayor and Council during public hearings.

*DEVELOPMENT ZONE* - A little historical context first. Armory Park was developed over a long period of time as reflected in the extended period of significance (now 1860s–1945). This is a key reference timeframe for the transition of numerous architectural styles just before and after the arrival of the railroad in Tucson in 1880. That is why each street has a different character. Certain house styles that may be present on one street may not be present or appropriate on other streets. The use of the Development Zone concept is meant to provide direction for new construction appropriate to the street and immediate area of the parcel rather than using the broader Armory Park historic neighborhood.

The use of borrowed elements to inform an existing historic house is not appropriate. It creates a false sense of history. While there may be similar homes within the Development Zone, it does not mean that they had all the same decorative elements that the subject house had originally. Historic houses and the restoration of their associated decorative elements should be based on documentation such as forensic evidence or photo documentation. An easy example would be having a simply designed Folk Victorian with few decorative elements that uses a high-style Victorian as an example to add decorative elements. Adding these elements would likely have the cumulative impact of making the property a noncontributor.

Development Zones are primarily used for new construction. Public and institutional buildings within the Development Zone are not considered to be part of the Development Zone when evaluating proposed development on an adjacent property, except for public and institutional buildings and structures listed, or eligible for listing, in the National Register of Historic Places. See the IMPORTANT TO KNOW section to learn how to determine your Development Zone. (From the National Park Service, and from the Sustainable Historic Preservation section of the Whole Building Design Guide of the National Institute of Building Sciences.)

*GREENING HISTORIC BUILDINGS, or GREEN RETROFITTING*, includes treatments—traditional as well as new technological innovations—that may be used to upgrade a historic building to help it operate even more efficiently and sustainably. Increasingly stricter energy standards and code requirements may dictate that at least some of these treatments be implemented as part of a rehabilitation project of any size or type of building.

Most historic buildings were traditionally designed with many sustainable features that responded to climate and site. When effectively restored and reused, these features can bring about substantial energy savings and water conservation. Whether a historic building is rehabilitated for a new or a continuing use,

**Commented [JTS346]:** Seem to be getting pretty far from Compatibility here...

**Commented [JTS347]:** Two words?

**Commented [TM348]:** I'm concerned about the conflation of the HPZ and the NR District here.

**Commented [EHB-(349)]:** Setting and viewshed should be listed as separate terms in the glossary.

**Commented [JTS350]:** Not always applicant-requested.

**Commented [JTS351]:** Huh? Is that just another phrase that means the same things as "contributor" ... if so, seems confusing to add it in. Not really a definition.

**Commented [TM352]:** Appropriate to say listed IN the NRHP not "on."

**Commented [JTS353]:** Hmm... not sure we want to introduce precedents here, but maybe.

**Commented [JTS354]:** 9-02.8.3 has a list of "STRUCTURE OR SITE STATUS" but I'm not sure that's where we want to send people for a definitive list of contributors.

**Commented [JTS355]:** This is not the definition from UDC 11.4.4. That one is better I think.

**Commented [TM356]:** PRS also reviews proposed demolitions, but not sure HZABS do ???

**Commented [JM357]:** concur. this discussion does not belong here.

**Commented [JTS358]:** I'd probably just go with the definition found in the UDC... or, better yet, refer to that definition.

**Commented [TM359]:** What is this trying to say?

**Commented [JTS360]:** This is also stated in the body of the document. I don't think it's true.

**Commented [JTS361]:** Either this is also not true, or we've been doing it wrong for a long time.

**Commented [JTS362]:** Shouldn't we just send them to the UDC?

**Commented [TM363]:** What is from these sources? Recommend footnoting this as I did with the text taken from the SOIS very early in the document.

**Commented [JTS364]:** Is this trying to say that the definition of a DZ is anywhere other than in the UDC? Seems odd. Or maybe it's referring to the next paragraph?

**Commented [JTS365]:** I'm a big fan of green building and see the connection to historic buildings, but does this belong in the AP Guidelines? Doesn't seem to say anything in particular about AP.

it is important to utilize the building's inherently sustainable qualities as they were intended. It is equally important that they function effectively together with any new measures undertaken to further improve energy and water efficiency. Considering historic buildings' original climatic adaptations, today's sustainable technology can supplement inherent sustainable features without compromising unique historic character. (Adapted from Guidelines on Sustainability for Rehabilitating Historic Buildings published in 2011 by the Secretary of the Interior. This type of overlay requires compliance with specific development standards and design guidelines for exterior alterations to existing historic and non-historic buildings and for new construction, including work that does not require a building permit.)

Commented [TM366]: Footnote as noted above.

**HISTORIC PRESERVATION ZONE (HPZ)** is a City of Tucson zoning overlay enabled by a 1972 ordinance. There are five designated HPZs within the City. Most of these areas are set completely or partially within historic districts listed in the National Register of Historic Places.

**MAY, SHOULD, and MUST** - As used in this document, these words convey the degree of flexibility of a guidelines-given provision. May means that the relevant item is permitted but neither preferred nor mandated, allowing for variation. Should conveys a preferred item. Must means that the relevant provision is mandated (usually by code or technical standard) and will be required when relevant to a project being reviewed.

Commented [EHB-(367)]: These terms should be screened for accuracy throughout the text.

**NATIONAL REGISTER HISTORIC DISTRICT** is an area that meets the criteria for, and has been listed in, the National Register of Historic Places. A national register district is composed of multiple contributing properties that were built during the period of significance defined for the district, and as a collective whole convey significance in terms of one or more of the following aspects of American history: (A) Association with events that have made a significant contribution to the broad patterns of our history; (B) Association with the lives of significant persons in our past; (C) Embodies distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values or that represents a significant and distinguishable entity whose components may lack individual distinction; or (D) That have yielded or may be likely to yield, information about prehistory or history. Each contributing property in a national register historic district must also maintain sufficient integrity (enough of its historic qualities) to visibly convey its significance. These qualities of integrity include: location, design, setting, materials, workmanship, feeling, and association. Properties within the district boundaries that do not meet these combined criteria of age, significance, and integrity are non-contributing properties. A national register district must contain a minimum of 51 percent contributing properties within its boundaries to retain its designation.

Commented [TM368]: If you're going to use the acronym, it has to be defined at first mention and then be used consistently throughout. I recommend just spelling it out. Everyday users of these guidelines may get overwhelmed by too many acronyms.

**NON-CONTRIBUTING PROPERTY** - Properties deemed "non-contributing" are not considered historic properties and are not eligible for tax credits. The City of Tucson categorizes properties by parcel and address in the TSM 9-02.8.3. (From the City of Tucson UDC)

Commented [TM369]: ... to a national register district???

**PERIOD OF SIGNIFICANCE** - The period of significance is a key reference timeframe for the prominent architectural styles of the historic area. Applicants must use this timeframe when determining compatibility of proposed external changes or new construction today. The period of significance for Armory Park is 1860s–1945. The Armory Park Historic Residential District is architecturally significant as a neighborhood illustrating the transition in architectural styles just before and after the arrival of the railroad in Tucson in 1880. The major architectural styles identified in this district include: "Sonoran, Anglo-Territorial, Late Victorian, late 19th and early 20th Century Revival Styles, and late 19th and early 20th Century (prewar) American Movements. For detailed descriptions of these styles, see submittal of the Expansion to Armory Park Historic District (Pima County) for listing in the National Register of Historic Places on July 5, 1996. [https://www.tucsonaz.gov/files/preservation/ArmoryParkHRD1996\\_Amend\\_.pdf](https://www.tucsonaz.gov/files/preservation/ArmoryParkHRD1996_Amend_.pdf)

Commented [TM370]: Add this as a reference footnote

**PRESERVATION** is the act or process of applying measures necessary to sustain the existing form, integrity, and materials of a historic property. Work generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. (From the Secretary of the Interior's Standards for Preservation)

Commented [TM371]: Reference needed.

**RECONSTRUCTION** is the process of reproducing, by new construction, the exact form and detail of a vanished structure, or part thereof, as it appeared at a specific period of time. Reconstruction should be

undertaken only when the property to be reconstructed is essential for understanding and interpreting the

value of a historic district and sufficient documentation exists to ensure an exact reproduction of the original. (From the Secretary of the Interior's Standards for **Reconstruction**)

**Commented [TM372]:** Reference footnote?

**REHABILITATION** is the act or process of making possible a compatible new use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural **values**.

**Commented [TM373]:** Reference footnote?

In rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the "Preservation" treatment. However, greater latitude is given to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments of preservation, rehabilitation, reconstruction, and restoration, only rehabilitation allows alterations and the construction of a new addition, if necessary, for a continuing or new use for the historic building. (From the Secretary of the Interior's Standards for **Rehabilitation**)

**Commented [TM374]:** Reference footnote?

**REPAIR** - When the physical condition of restoration-period features requires additional work, repairing by stabilizing, consolidating, and conserving is recommended. Restoration guidance focuses on the preservation of those materials and features that are significant to the period. In restoration, repair may include the limited replacement in kind or with a compatible substitute material of extensively deteriorated or missing components of existing restoration-period features when there are surviving prototypes to use as a model. (From the Secretary of the Interior's Standards for **Rehabilitation**)

**Commented [TM375]:** Reference footnote?

**RESTORATION** is the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. (From the Secretary of the Interior's Standards for **Restoration**)

**Commented [TM376]:** Reference footnote?

**RHYTHM** in architecture is simply the repetition of the same elements or forms across a group of buildings. It is the subjective impression created by the continuity of height, massing, scale, setback, materials, and architectural features repeated among the surrounding buildings. As in music, a break in rhythm is immediately noticed and detracts from impression of the whole.

**Commented [JTS377]:** UDC definition is less poetic: "The ordered recurrent alternation of solids to voids in the facade and streetscape." Not sure if the APHZAB wants to redefine it for their HZ, but it seems like it might cause confusion if they do. I suggest a link to the UDC definition (ie: "Defined in the UDC: see UDC 11.4.19. DEFINITIONS – R") or using the same words as the UDC.

**SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES** are developed by the National Park Service as principles intended to promote responsible preservation practices that help protect our irreplaceable historic resources. The City of Tucson Technical Standards for HPZs stipulate that, in addition to Technical Standards and Design Guidelines, the Secretary's Standards are applied during HPZ design reviews.

**SUSTAINABILITY** should be addressed as part of a preservation project. Good preservation practice is often synonymous with sustainability. Existing energy-efficient features should be retained and repaired. New sustainability treatments should generally be limited to updating existing features and systems so as to have the least impact on the historic character of the building. (From the Secretary of the Interior's Standards for **Preservation**)

**Commented [TM378]:** Reference footnote?

**VERGE (BOARDS)**, also called bargeboards or gingerbread trim, are often ornately carved or pierced boards that are fixed to the projecting edge of a gable roof. Decorative verge boards are one of the key features of Gothic Revival and Queen Anne homes.

**Commented [EHB-(379)]:** What about other architectural terminology? Parapets, gables, etc.



## HISTORIC PRESERVATION ONLINE RESOURCES

Arizona State Historic Preservation Office (SHPO) - [www.azstateparks.com/shpo/](http://www.azstateparks.com/shpo/)

- Information about tax incentives for historic properties

Armory Park Historic Review StartUp Kit

<https://drive.google.com/drive/u/1/folders/1q1IMHpo9dcmCNqC5YdQzjv2nUupLBZu8>

- Unofficial process checklists for minor and full design reviews
- Collection of helpful references and forms published by PSDS for the historic design review process

Armory Park Historic Zone Advisory Board informational documents

<https://drive.google.com/open?id=1q1IMHpo9dcmCNqC5YdQzjv2nUupLBZu8>

City of Tucson, City Clerk <https://www.tucsonaz.gov/clerks/boards?board=9>

- Legal Action Reports and Minutes of APHZAB and T-PCHC PRS

City of Tucson Historic Preservation Office - <https://www.tucsonaz.gov/historic-preservation>

- View original National Register nomination forms for historic properties (individually listed and districts)
- City Historic Preservation Zone information

City of Tucson Planning and Development Services - <https://www.tucsonaz.gov/pdsd>

- City of Tucson Building and Zoning Codes
- City of Tucson Property Research Online (PRO) - <https://www.tucsonaz.gov/PRO/pdsd>
- Research open and past permit applications by address or parcel number
- Potential source for a parcel's site plan

Erika Perrino (EP) – Source for Tucson historic residences drawings,

<https://erikaparrinoart.smugmug.com/>

Historic American Buildings Survey (HABS) — [SuveysSurveys of historic properties available from online collections at the Library of Congress](http://www.loc.gov/pictures/collection/hh/) - <http://www.loc.gov/pictures/collection/hh/> Keyword - Tucson

Illustrated Guidelines for Rehabilitating Historic Buildings (Secretary of Interior) -

<https://www.nps.gov/tps/standards/rehabilitation/rehab/index.htm>

Infill Incentive District: For a PDF document with an IID map and other information, go to:

[https://www.tucsonaz.gov/files/pdsd/pdfs/PlanningCommissionInfillIncentiveDistrictSubcommittee/IID\\_Outline7-22-13\\_1.pdf](https://www.tucsonaz.gov/files/pdsd/pdfs/PlanningCommissionInfillIncentiveDistrictSubcommittee/IID_Outline7-22-13_1.pdf)

Map Tucson - <https://maps.tucsonaz.gov/maptucson/>

- View boundaries of historic Preservation Zones and National Register Districts in Tucson
- Download Historic Property Inventory Forms

National Association of Preservation Commissions - <https://napcommissions.org>

National Park Service Technical Preservation Services - <https://www.nps.gov/tps>

- Preservation briefs for repair and construction of specific building elements

National Trust for Historic Preservation - <https://savingplaces.org>

Pima County Assessor's Office - <http://www.asr.pima.gov/Home/ParcelSearch>

- Images of the Assessor's Record Map of blocks for the City of Tucson
- Images of Property Record Card with historic details of the property

**Commented [TM380]:** See my earlier comment about where these start-up kit and informational documents live

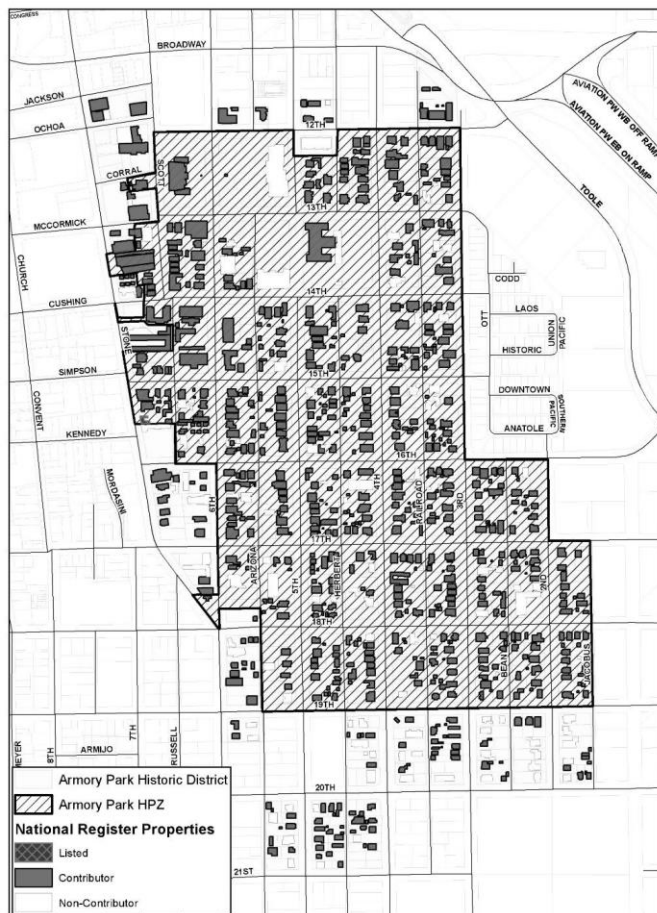
**Commented [JTS381]:** Are these reviewed or vetted? If they're included here do they need to be?

Secretary of the Interior's Standards and Guidelines - <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf> (most recent revision by Anne E. Grimmer)

Tucson Historic Preservation - <https://maps2.tucsonaz.gov/html5viewer/?viewer=historicproperties>  
(historic property inventory forms from the 1994 survey)

- Click on the "Layers" tab at the bottom left.
- Expand the item "National Register Properties"
- Check "National Register Status (building/structure footprints)"
- Zoom the map in to show the desired property. The dark gray building footprints are contributing, and the white ones are noncontributing.
- Click on the building of interest. A box will pop up on the left.
- Click on "Properties."
- Click on the link, "State Historic Property Inventory Form." This link should give you the inventory form.

### ARMORY PARK HPZ MAP



**Commented [JTS382]:** I'd put this closer to the front of the Guidelines. It is also missing some buildings (new "cottages" on south side of 18<sup>th</sup> between 5<sup>th</sup> and Arizona).



## CREDITS

These Armory Park 2020 design guidelines were based heavily on the work of our predecessors. Special credit is given to the West University Historic Zone Advisory Board for making their guidelines so complete and informative. Without their efforts, developing these guidelines would have been much more difficult and time consuming.

### 2019 DESIGN GUIDELINES for the ARMORY PARK HISTORIC DISTRICT

Updated and approved by the  
ARMORY PARK HISTORIC ZONE ADVISORY BOARD.

June 18, 2019 and August 20, 2019

Special thanks to the following Armory Park working group members

John Burr

Mark Crum

Susan Frank

Steve Grede

Martha McClements

Michael Means

Pat O'Brien

Grace Schau

Ken Taylor

Illustrations are courtesy of West University HZAB (WUHZAB), John D Burr (JB), Ken Taylor (KT), and Erika Perrino (EP).

TUCSON-PIMA COUNTY HISTORICAL COMMISSION,

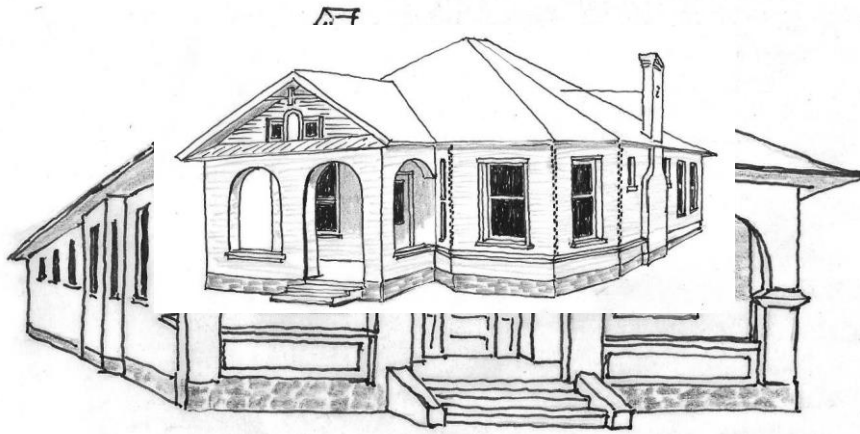
PLANS REVIEW SUBCOMMITTEE

Updated and Approved ????, 2020.

In collaboration with the City of Tucson Historic Preservation Office and  
Jodie Brown, Historic Preservation Officer

Commented [TM383]: Maybe his full name. Ask him?

Commented [EHB-(384)]: Steve is using his full name on publications: Stephen



**Commented [JTS385]:** Images stacked on each other on final blank page... formatting needs to be checked throughout.